

RESIDENTIAL DESIGN GUIDELINES
FOR
DELTA COVES



Design Review Applications are available online at:

www.deltacovesresidents.com

For questions or to submit a Design Review Application for review, please contact:

Delta Coves Maintenance Corporation

Email: deltacoves@coherelife.com

Effective Date: December 9, 2019

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Updated and Adopted: October 9, 2024

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Welcome to Delta Coves!

Delta Coves is founded in the tradition of a master planned waterfront community. Surrounded by water and at the heart of the Delta – it is the last of its kind and will endure as a lasting legacy in the region. Historically, the Delta region has accommodated many uses ranging from recreational, to agricultural and industrial. Because of this layered history, there is a rich vernacular language from which to draw, both in the landscape and the architecture. Delta Coves is a community rooted in this tradition and will draw from this history and reinterpret it into a new future for residents.

The landscape and architectural vision for Delta Coves is responsive to the local climate: sun, water and breezes. The lifestyle which will develop is one of relaxation, recreation and exploration of the boundless natural environment. The community is designed to accommodate a waterfront lifestyle and is connected by a landscaped perimeter trail.

The foundation for this unique, high-quality community is the understanding of the *“Master Declaration of Covenants, Conditions, Restrictions and Reservation of Easements for Delta Coves”* (*“Master CC&Rs”*) and the cooperation of property Owners and residents. This information is intended to provide Owners easy access to applicable Design Guidelines and the Design Review procedures. Your cooperation and understanding of the Design Guidelines and the community’s governing documents will help ensure Delta Coves continues to be the exceptional community that each resident desires.



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All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

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All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

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REMINDER:
*For the Cottages at Delta Coves
(AKA: Beacon at Delta Coves)
be sure to reference **Appendix J**
for the **Supplemental Design Guidelines**
for these unique cottage homes.*

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Section 1

INTRODUCTION TO DESIGN REVIEW

1.2. Authority.

The authority for this document and the design review process is pursuant to the following:

Article V of the Master Declaration of Covenants, Conditions, Restrictions and Reservation of Easements for Delta Coves (“Master CC&Rs”), as recorded in the Official Records of the Contra Costa County Recorder Office, as document 2018-0150595-00, and as may be amended from time to time, establishes the Delta Coves Design Review Committee and its authority. The *Residential Design Guidelines for Delta Coves* are referred to as “Design Guidelines” in the Master CC&Rs.

In accordance with Article 5.3.1 of the Master CC&Rs, no construction, reconstruction, installation, removal or alteration of any outdoor Improvement on a Lot, including landscaping, grading, excavation, filling or other alteration to the grade or level of the land may be commenced or maintained until the plans and specifications, along with all other review materials, have been submitted to and approved in writing by the Design Review Committee.

The *Residential Design Guidelines for Delta Coves* must be read in conjunction with the other applicable governing documents and any applicable Contra Costa County requirements (codes, ordinances and regulations), as well as other local jurisdictions, including, but not limited to: Bethel Island Municipal Improvements District (BIMID), Contra Costa County Fire Protection District, or any other governing agencies. In the event of any conflict between these Design Guidelines and other applicable governing documents, the strictest applicable restriction or requirement that can be enforced shall apply.

Should the residential property Owner decide to make modifications to their property that requires construction, the property Owner shall first consult with the Design Review Committee on the proposed scope of work and if the proposed improvements require permitting, the property Owner shall submit plans to the Community Development Department of Contra Costa County for approval and then to the Building Department for permitting.

BIMID is responsible for issuing approval for any projects that may have associated impacts to the levee or drainage, inclusive of any improvements in the rear-yards of the Delta Coves Perimeter Levee Lots as identified in Section 3.1 of these Design Guidelines.

THE DESIGN, PLANS, AND SPECIFICATIONS FOR ALL EXTERIOR ADDITIONS, MODIFICATIONS OR IMPROVEMENTS TO THE HOME OR PROPERTY SHALL COMPLY WITH THESE DESIGN GUIDELINES AND MUST BE APPROVED BY THE DESIGN REVIEW COMMITTEE PRIOR TO INSTALLATION OR CONSTRUCTION.

HINT: When in doubt, contact the Design Review Office for an interpretation.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

1.2. Design Review Committee.

The Design Review Committee (“DRC”) is composed of three (3) members and initially appointed by the Declarant, SDC DELTA COVES, LLC. Subsequently, the DRC will be appointed by the Board of Directors as provided for in Article 5.1 of the Master CC&Rs. The DRC has the right and duty to promulgate the *Residential Design Guidelines for Delta Coves* (“Design Guidelines”) and shall meet as often as deemed necessary to perform its duties.

The role of the DRC is to:

- Interpret and administer the Design Guidelines and the Design Review Process in a reasonable, consistent and equitable manner;
- Approve or disapprove proposed designs, plans and specifications for site planning, building construction, landscape modifications, Deck construction, Dock construction, lagoon preservation, exterior lighting, colors and materials, additions, and other Improvements;
- Ensure construction or installation conformance to approved plans and stipulations.

1.3. Interpretation of the Design Guidelines.

The DRC is the interpreter and administrator of the Design Guidelines. The application of the criteria in the Design Guidelines is based on the DRC’s interpretation and sole discretion performed in a reasonable, consistent and equitable manner. For example, if the Design Guidelines make a statement such as “no bold or bright colors”; then the interpretation of what is “bold and bright” is in the sole discretion of the DRC. Or if the Design Guidelines make a statement such as “match the architectural character of the home”; then the interpretation of what matches the architectural character and what does not is in the sole discretion of the DRC. Because no two situations are exactly alike, the DRC has the right to add additional criteria, stipulations, or requirements as part of the evaluation of any application to address the unique issues or circumstances of the specific proposed improvements.

1.4. Design Criteria for Unanticipated Improvements.

It is understood that it may be impossible to draft guidelines, standards and criteria for every possible potential improvement, addition, modification or change that may be considered for a residential property at Delta Coves. Additionally, new materials, methods, products and technologies will naturally occur and develop over time. Therefore, the DRC reserves the right, and in its sole discretion, to modify existing design criteria and/or to create additional reasonable rules, regulations, guidelines, design criteria, limitations, stipulations and policies, either overall or on a case-by-case basis, to address the unanticipated improvements and requests that may occur. Just because the Design Guidelines are silent on a particular type of improvement, it does not mean such improvement is acceptable or allowed. The DRC will evaluate Improvements not specifically covered by these Design Guidelines on a case-by-case basis. If the Applicant is in doubt regarding design criteria for a potential Improvement that is not specifically covered in the Design Guidelines, the Applicant shall seek the opinion, direction, and/or ruling of the DRC before proceeding.

REMINDER:
Just because the Design Guidelines do not cover a particular topic or specific improvement does not mean that such improvement is allowed or acceptable.

The DRC will evaluate Improvements not specifically covered by these Design Guidelines on a case-by-case basis.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

1.5. Variance for Excellence.

The DRC reserves the right to approve any application or variance to the criteria of these Design Guidelines, when the DRC believes, in its sole discretion, that the proposed modification or improvement represents a superior design solution. This ability to allow variances for design excellence is intended to allow the DRC to approve high quality designs that are appropriate for a residential lot and the architectural style of the home, surrounding neighborhood, and overall community. Any approval for a variance for excellence shall not be deemed to set a precedent for future requests, nor shall it obligate the DRC to approve similar variances in the future even if a similar condition exists.

1.6. Design Review Process.

Any modification, change, addition or other improvement to the exterior of the property (including within the Lagoon Zone that is associated with the Lot) must be reviewed and approved in writing by the DRC prior to construction or installation (unless otherwise specifically allowed by these Design Guidelines).

Owners, architects, designers, Contractors and Applicants must submit a complete, clear, detailed, accurate and easy-to-understand Design Review Application to the Delta Coves Maintenance Corporation (“DCMC”) office. All Design Review Applications must include:

- Design Review Application Form with all applicable information completed.
- Drawings, sketches, site plans, photographs, cut sheets, brochures, specifications, samples, color chips, dimensions, and/or other information as necessary to provide a complete, clear, detailed, accurate, and easy-to-understand explanation of the proposed improvement(s).
- Photographs of the entire front of the house and photographs of the area of the proposed improvement(s) to explain the context and existing conditions.
- All aspects of the proposed improvement(s) must be clearly described, including, but not limited to: size, dimensions, height, shape, location, setbacks, colors, materials, products, species, and appearance.

The DRC reserves the right to deny or not accept any application that the DRC or staff deems to be incomplete or inaccurate.

The standard Design Review Application Form is available online at www.deltacovesresidents.com or the Applicant may contact the Association at deltacoves@coherelife.com. Most Design Review Applications can be submitted online in digital format.

HINT:

A Design Review Application must clearly describe all aspects of the proposed modification, change, addition or improvement, including: location, size, dimensions, height, shape, setbacks, colors, materials, products, and species. Be sure you clearly describe every aspect of the proposed improvement in detail.

The biggest reason that Design Review Applications are not approved is due to incomplete or unclear applications.

Save yourself time and frustration by preparing a complete, clear and detailed Design Review Application.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

After a complete Design Review Application has been submitted by the Applicant and received by the DRC, the DRC shall review the application and shall deliver a written response to the Applicant within forty-five (45) calendar days of the date of submittal, as further described in the Master CC&R's. The written response shall stipulate and explain whether the application is: a) Approved; b) Conditionally Approved; c) Disapproved; d) Incomplete, or e) if additional information is needed for further review. As part of the written response, the DRC shall provide reasons and/or explanations for a denial or disapproval.

The DRC reserves the right to establish and charge Design Review Fees in amounts specified in the *Assessment and Fee Schedule*. Please refer to the current year's *Assessment and Fee Schedule* available online at www.deltacovesresidents.com for a current schedule of Design Review Fees.



HINT:

If you need help or clarifications regarding the Design Review Process or Submittal Requirements, please feel free to call the staff at the Delta Coves Maintenance Corporation. We'd be happy to assist.

1.7. Terms and Expiration of a DRC Approval.

An approval granted by the DRC is valid for a period of six (6) months from the date of approval by the DRC, unless specifically approved otherwise by the DRC in writing. If construction or installation of the approved improvements has not commenced within (6) months of the date of approval, the approval from the DRC shall automatically expire, unless the Applicant requests and obtains an extension of time in writing from the DRC prior to the expiration of the original approval.

1.8. Terms and Schedule for Completion of Work.

Any work or project that is approved by the DRC must be completed in its entirety within six (6) months of the date of approval by the DRC, unless specifically approved otherwise by the DRC in writing. Once started, all work shall proceed and be completed in a diligent, professional and timely manner. An Applicant may request an extension of time to complete the work via a written request to the DRC for good cause. The DRC reserves all rights to grant or deny a request for extension of time to complete the construction in its sole discretion. (In addition, please refer to "Unavoidable Delay" as outlined in the Master CC&R's.)

1.9. Compliance.

By proceeding with construction or installation of any modification, addition, or other Improvement that has been approved by the DRC, the Owner, and all persons acting on behalf of the Owner, agree to comply with the approval granted by the DRC, including any stipulations of approval issued by the DRC. Furthermore, the Owner acknowledges and agrees to be liable for all work and costs necessary to bring any non-conforming work into compliance with the Design Guidelines and/or the stipulations of approval in a timely manner. Any change(s) made to the approved Design Review Application by the Owner or Applicant during the construction period must be submitted to the DRC for review and approval prior to implementing the change(s).

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

1.10. Notice of Completion / Right to Verify Compliance.

When construction or installation of an approved improvement is complete, the Owner or their Contractor shall notify the DRC by written notice of the completion of the work. A standard “*Completed Residential Improvement*” form is available online at www.deltacovesresidents.com. The “*Completed Residential Improvement*” form should be submitted by the Owner to the DRC within thirty (30) days of completion of the improvement. It is the obligation of the Owner to provide this form to the DRC, as the DRC does not track or monitor the schedule of construction and/or completion of Owner projects.

REMINDER:
*Once construction or installation of an improvement is complete, the Owner must submit a **Completed Residential Improvement Form** to the DRC. This form is available online at www.deltacovesresidents.com.*

As further explained in the Master CC&R’s, the DRC may observe and inspect any work for which approval of plans is required under these Design Guidelines for a period up to sixty (60) calendar days after the date of the Owner’s delivery of written notice of the completion of the work (as noted above) in order to verify compliance with the approval granted by the DRC, including any stipulations of approval. The DRC and DCMC retain the right to require any Owner to take any action necessary to remedy (including remove) any non-compliant improvement(s) as described under these Design Guidelines, the Master CC&R’s, or other community governing document.

For clarity, the DRC only observes and inspects property or improvements for aesthetics and for compliance with these Design Guidelines. The DRC does not observe or inspect a property or improvements for compliance with codes, ordinances, regulations and any other governmental requirements. In addition, the DRC does not observe or inspect a property or improvements for the structural integrity or soundness of the Improvements; or for aspects of structure, workmanship, quality, functionality, durability, maintainability, or usability.

The construction of a Deck in the Lagoon Zone requires a post-construction inspection report and written approval by BIMID and Contra Costa County. Refer to Section 7.18.4 of these Design Guidelines regarding further explanation of the post-construction inspections required by BIMID for a Deck in the Lagoon Zone. The Owner shall provide a copy of the post-construction inspection report and approval from BIMID to the DRC for its records.

1.11. Abandoned Projects.

Any project that has commenced by an Owner but is abandoned for any reason before completion shall be removed in its entirety at the Owner’s expense; and the property shall be restored to the condition that existed prior to the commencement of the abandoned project. If the Owner fails to remove the abandoned work, the DRC and DCMC reserve the right to remove the abandoned work at the expense of the Owner.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

1.12. Repairs, Maintenance and Replacement.

All Owners are responsible for the general care and maintenance of their Residence and property, including improvements in the Lagoon Zone associated with the Lot, in compliance with the standards established under the Master CC&Rs, these Design Guidelines, and any policies of the DCMC.

Repairs, maintenance and replacement of existing, approved improvements with the same colors, materials, details, style and appearance in the same locations does not require approval of the DRC.

The approval of any additions, modifications, and other improvements by the DRC comes with the requirement that such addition, modification or improvement shall be properly cared for and maintained by the Owner in perpetuity.

The integrity of the perimeter levee and its rock slope are of utmost importance to Bethel Island. Any structure or improvement placed over the rock slope may be removed by BIMID in order to maintain the levee and/or to conduct flood-fight operations. Any costs associated with any removal, repairs and/or replacement of any structure or improvement as required by BIMID are at the sole expense of the property Owner. Refer to Section 7.18, Section 3.7, Section 3.8, and Appendix H of these Design Guidelines for further explanation regarding the rights of BIMID to maintain the levee.

1.13. Interior Improvements.

In general, work done to the interior of a home or enclosed accessory structure does not require the approval of the DRC. However, any modifications, changes, or improvements to the exterior of the home, including, but not limited to: the porch, balcony, covered patio, Dock, Deck, garage, Accessory Structure, courtyard, landscape, or other portions of the property that are visible from the exterior of the structure do require approval from the DRC prior to construction or work commencing.

1.14. Remedies for Work Performed Without Approval.

The DRC and the DCMC reserve all rights to require additions, modifications, and other Improvements that were installed without approval by the DRC to be removed; and for the conditions to be restored to the appearance and conditions that existed prior to installation of the unapproved modifications, regardless of cost, expense, loss, effort, timing or inconvenience. The DRC and the DCMC also reserve all rights to impose additional Design Review Fees or fines for work that was performed or installed without prior approval from the DRC. Furthermore, the DRC and the DCMC reserve all rights to legal remedies as allowed by law regarding this topic.

CAUTION:
The DRC has the right to require unapproved work to be removed regardless of cost, loss or effort.
*Therefore, be sure to obtain approval from the DRC **prior** to making any improvements, changes, addition or modifications to the exterior of your property.*

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

1.15. Existing Non-Conforming Improvements.

In a community as large as Delta Coves, there are, at times, existing improvements that do not conform or comply with the current Design Guidelines. These conditions may include specific variances that were granted by the DRC; temporary approval of improvements for a limited time; and/or compliance issues that have not yet been resolved. In addition, as the DRC establishes new regulations and as the Design Guidelines are updated, there may be cases where improvements that preceded the new guidelines may exist.

Section 5.5 of the CC&Rs outlines "No Waiver of Future Approvals" in which the DRC has the right to not approve a proposed improvement even if a similar condition or similar improvement may exist elsewhere in the Community.

At times and in very limited circumstances, the Master Developer may have granted specific exceptions to these Design Guidelines for the benefit of the Original Homebuilder and as part of the Original Construction. The granting of exceptions to these Design Guidelines by the Master Developer does not establish a precedent, nor does it obligate the DRC to grant similar exceptions for individual Owners or for other properties in Delta Coves even if similar conditions exist.

Therefore, at times, Existing Non-Conforming Improvements may exist. In general, Existing Non-Conforming Improvements are few and far between.

In any case, just because a particular improvement which may not comply with the Design Guidelines exists or is allowed to exist in the Community does not establish a precedent. Just because your neighbor has an Existing Non-Conforming Improvement does not mean that the DRC has any obligation of any type to approve or allow a similar improvement even if similar conditions exist.

REMINDER:

Just because you see an existing improvement on another property in Delta Coves does not necessarily mean that you can have the same improvement at your property.

All new proposed improvements must comply with the Design Guidelines.

1.16. Regulatory Approvals / Governmental Codes, Ordinances and Permits / Inspections.

Approval of a Design Review Application by the DRC shall not be deemed to be a representation or warranty that the drawings or specifications submitted as part of such application comply with applicable governmental codes, ordinances, or regulations. Review and approval of any Design Review Application by the DRC is made on the basis of aesthetic considerations and the DRC shall not bear any responsibility or liability for ensuring the structural integrity or soundness of the proposed modifications or Improvements; nor for ensuring compliance with building codes, ordinances, regulations and other applicable governmental or regulatory agency requirements. It shall be the sole responsibility of the Owner (or other persons acting on behalf of the Owner) to comply with all applicable governing codes, ordinances, regulations, policies and guidelines. It shall be the sole responsibility of the Owner (or other persons acting on behalf of the Owner) to obtain all necessary reviews, approvals, building permits and inspections for any such work that requires approval or a building permit from a governing agency prior to commencement of construction or installation.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

It shall be the sole responsibility of the Owner or other persons acting on behalf of the Owner to obtain all necessary inspections required by applicable governing agencies at the time of completion of construction or installation.

In the event of conflict between any governmental standards and these Design Guidelines, the most restrictive provisions shall be deemed controlling. The Applicant shall take whatever action is necessary to accomplish the design objectives set forth in these Design Guidelines, while avoiding conflict with the laws and regulations of any applicable governing agency.

In order to minimize redesign efforts, applications for Additions, modifications or other Improvements should be reviewed and approved by the DRC prior to any submission to any governing agency for permits.

Any modification or penetration into the Delta Coves perimeter levee system or the riprap bank of the Lagoon, particularly for the installation of Deck structures within the Lagoon Zone of the Perimeter Levee Lots identified in Section 3.1(a) of these Design Guidelines requires approval in advance by BIMID. Refer to Section 7.18, Section 3.7, Section 3.8, and Appendix H of these Design Guidelines for further explanation regarding the review, approval and inspection process of BIMID.

The DRC and the DCMC will not be responsible or liable in any manner if an Owner (including an Owner's Contractors or agents) fails to obtain all required reviews, approvals, permits and inspections from other governing agencies; or if the Owner (including the Owner's Contractors or agents) fails to comply with the regulations of any other governing agency.



REMINDER:

The DRC only reviews Design Review Applications for location and aesthetics.

The Owner is responsible to comply with all applicable codes, ordinances, policies, approval processes, permitting requirements, inspections, etc. of all other applicable governing agencies.

Just because your project was approved by the DRC does not mean that it complies with the requirements of other governing agencies.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

1.17. Quality and Professional Workmanship Standards.

All Additions, modifications and Improvements approved by the DRC are required to be constructed, manufactured and installed with quality materials and professional workmanship as guided and measured by typical industry and professional standards for each such improvement or trade. Some examples include:

- All materials and products used for an improvement must be appropriate for the purpose, location, and function of such improvement.
- Materials and products shall be durable, relatively low-maintenance, and long-lasting for the intended purpose.
- Materials and products must be manufactured and intended for outdoor use.
- Materials and products must be practical and appropriate for the climatic and marine environment of the Delta area.
- Improvements shall be installed in a clean, neat, orderly, and attractive manner.
- In general, Improvements shall be installed straight, even, true, square, plumb, level, horizontal, parallel, and perpendicular.

The DRC recommends Owners hire qualified and experienced professionals to construct or install any addition, modification or improvement. Improvements that are constructed or installed by Owners or other non-professionals must reasonably comply with and maintain the same quality and professional workmanship standards as measured by typical industry and professional standards for each such Improvement or trade.

The DRC reserves all rights to require work that does not meet the appropriate quality and professional workmanship standards to be removed and/or replaced with appropriate and acceptable improvements and appearance.

HINT:

Hire an experienced professional for work on the exterior of your home.

Be sure to share the Design Guidelines and any stipulations of your approval with your Contractor or Builder.

1.18. Indemnification.

In accordance with the Third Amendment to Declaration of Covenants, Conditions, Restrictions and Reservation of Easements for Delta Coves (as recorded on 6-13-2019 at Contra Costa County Recorder’s office), DCMC shall at its sole cost, defend, indemnify and hold harmless Bethel Island Municipal Improvement District (“BIMID”), its agents, representatives, officers, employees and contractors, against any and all actions, suits, proceedings, claims, demands, losses, judgments, costs and expenses, including settlement costs, legal costs and attorney’s fees, arising out of or related to the maintenance or repair of any Project levees, embankments, rip rap or slope face, or the lack of said maintenance or repair, other than as caused by BIMID’s own gross negligence or intentional misconduct.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Section 2

DELTA COVES COMMUNITY VISION

2.2. Architectural Design Objectives.

The architecture within Delta Coves reflects the community-wide goals of creating a casual, outdoor, waterfront lifestyle in California. The homes are designed for indoor/outdoor use and take full advantage of delta breezes with their protected porches, outdoor arcades and breezeways, semi-enclosed courtyards, decks, and well-designed and well-placed windows and doors. The casual nature of Delta Coves neighborhoods comes from the individuality of homes and the slight shifts in home orientation, additive building elements, and use of simple, natural and, where possible, local materials. Owners are encouraged to use sustainable design concepts that help to preserve the environment, lower long-term energy costs, and improve the overall quality of life.

Great care and thought have been given to the creation of the designs, styles, colors and materials of all of the homes at Delta Coves. Therefore, the same attention to detail must be given to any addition, modification or other improvements. Any addition, modification or other improvement to a Residence must continue the authentic detailing and character of each architectural style. The intent is for any addition, modification or other improvement to fit seamlessly with the Original Construction.



All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Section 3

SITE STANDARDS

3.1. Lot Types. Within Delta Coves, there are two (2) primary types of residential Lots.

a) **Perimeter Levee Lots:**

- i) Located around the perimeter of the community, Perimeter Levee Lots have unique restrictions due to the fact that the ground below the Lots is critical to the structure and engineering of the Lagoon and the Lagoon levee.
- ii) Perimeter Levee Lots are identified in **BLUE** on the map below.

iii) The following lot numbers are designated as Perimeter Levee Lots:

1, 2, 3, 4, 5, 6, 7, 8, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 244, 245, 246, 247, 248, 249, 250, 251, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 474, 475, 476, 477, 478, 479, 480, 481, 482, 482, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, and 494.

b) **Peninsula Lots:**

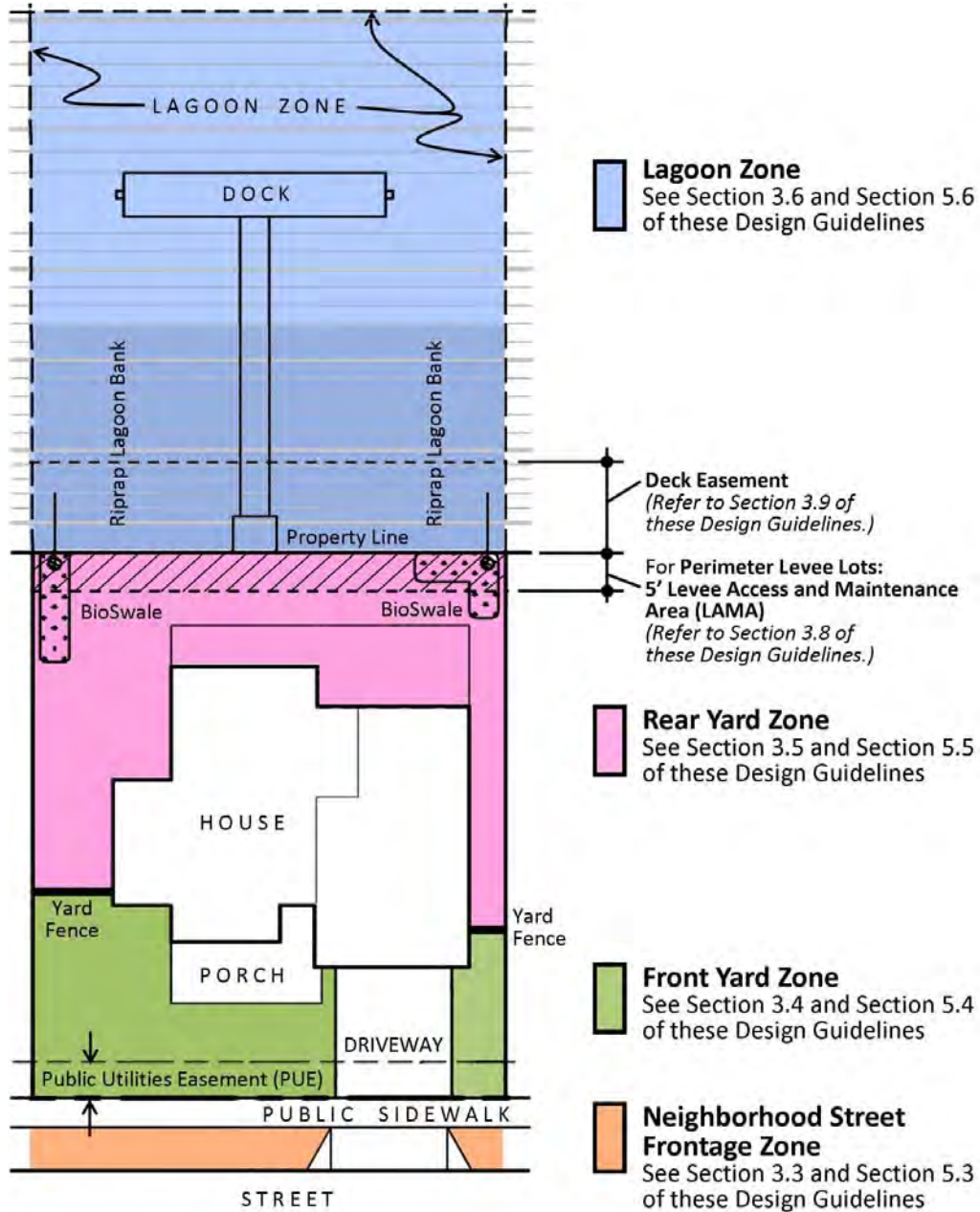
- i) Located on the fingers of land that project into the Lagoon.
- ii) Peninsula Lots are identified in **GREEN** on the map below.



All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

3.2. Residential Zones. Each residential property has been divided into four (4) specified Residential Zones. Each Residential Zone often has unique design criteria referenced in many of the sections of these Design Guidelines. The Residential Zones are:

- a) **Neighborhood Street Frontage Zone.** (See Section 3.3 and Section 5.3 of these Design Guidelines)
- b) **Front Yard Zone.** (See Section 3.4 and Section 5.4 of these Design Guidelines)
- c) **Rear Yard Zone.** (See Section 3.5 and Section 5.5 of these Design Guidelines)
- d) **Lagoon Zone.** (See Section 3.6 and Section 5.6 of these Design Guidelines)
- e) The location of each Residential Zone is generally illustrated on the drawing below; and each Residential Zone is explained in greater detail in the following sections of the Design Guidelines.



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

3.3. Neighborhood Street Frontage Zone.

- a) The Neighborhood Street Frontage Zone (as illustrated in Section 3.2 above) is the area between the public sidewalk and the street at the front of the Lot.
- b) This area is intended to provide shade; encourage a walkable and active neighborhood streetscape; and provide visual continuity for the streetscape.
- c) The Neighborhood Street Frontage Zone is located within the right-of-way of the street. For clarity, the Neighborhood Street Frontage Zone is not within the boundaries of the individual residential Lot.
- d) The trees, plants, private walkways, and driveway improvements in the Neighborhood Street Frontage Zone are cared and maintained for by the respective and adjacent Owner.

3.4. Front Yard Zone.

- a) The Front Yard Zone (as illustrated in Section 3.2 above) is the portion of the Lot located between the home and the front property line, including any areas on the side of the home between the Yard Fences and the front property line.
- b) The Front Yard Zone is located within the property lines of the Lot.
- c) All improvements in the Front Yard Zone, including landscape, are cared for and maintained by the Owner.
- d) A Public Utilities Easement (PUE) is located over a portion of the Front Yard Zone, as shown on the Final Subdivision Map recorded in the County Records. (*Refer to Section 3.10 of these Design Guidelines for further explanation.*)

3.5. Rear Yard Zone.

- a) The Rear Yard Zone (as illustrated in Section 3.2 above) is the portion of the Lot located behind the Yard Fence and oriented toward the Lagoon.
- b) The Rear Yard Zone is located within the property lines of the Lot.
- c) All improvements in the Rear Yard Zone, including landscape, are cared for and maintained by the Owner.
- d) For Perimeter Levee Lots, a 5' Levee Access and Maintenance Area (LAMA) is located over a portion of the Rear Yard Zone along the waterfront property line(s) as further explained in Section 3.8 of these Design Guidelines.

3.6. Lagoon Zone.

- a) The Lagoon Zone (as illustrated in Section 3.2 above) is that portion of the Lagoon (Parcel A) specifically designated for the limited use, benefit, and enjoyment by the respective Owner of the associated contiguous residential Lot. The location and limits of the Lagoon Zone for each individual Lot are delineated on the Site Plan for each individual Lot as prepared by the Original Homebuilder and/or the Master Developer at the time of the Original Construction. The Site Plan showing the location of the Lagoon Zone is available from the Original Homebuilder.
- b) Per the Final Subdivision Plan, all land within the Lagoon (Parcel A) is reserved for the Delta Coves Maintenance Corporation for operation and maintenance of the Lagoon.

- c) All improvements in the Lagoon Zone shall also comply with applicable code, ordinance, rules, policies and requirements of applicable governing agencies, including, but not limited to: BIMID, County of Contra Costa, California Department of Fish and Wildlife, California Department of Boating and Waterways, and US Army Corp of Engineers, as well as other local, state and federal agencies having jurisdiction over the Lagoon. As a reminder, the DRC reviews Design Review Applications for location and aesthetics. The DRC does not review Design Review Applications for compliance with requirements of other applicable governing agencies. It is the Owner's responsibility to comply with the requirements of all applicable governing agencies.
- d) All improvements in the Lagoon Zone installed by the Original Homebuilder and/or the Owner (including any previous property owners) shall be cared for and maintained by the Owner.
- e) The removal of plants, weeds and vegetation within the associated Lagoon Zone is the responsibility of the Owner. Refer to the "*Lagoon Maintenance Policy*" of the DCMC for more information and additional requirements.
- f) The integrity and function of the rock embankment of the Lagoon is overseen and managed by BIMID. All portions of the rock embankment around the perimeter of the Lagoon must be readily visible to facilitate periodic inspections by BIMID.
- g) For clarity, some other documents used at Delta Coves may refer to terms such as "dock easement", "mooring easement", "private mooring easement", "mooring line", "water easement", and "lagoon easement". These terms refer to what is defined as the "Lagoon Zone" for the purpose of these Design Guidelines.
 - Refer to Section 5.41 for "*Maintenance within the Lagoon Zone*"

3.7. Public Levee Maintenance Easement (LVME) in the Lagoon.

- a) A Public Levee Maintenance Easement (LVME) is established and defined over the entirety of the Lagoon (Parcel A) as part of the Final Subdivision Map for *Subdivision 6013 Delta Coves at Bethel Island*, as recorded in the Contra Costa County Recorder Office, including any amendments that may be made from time to time.
- b) The Public Levee Maintenance Easement (LVME) applies to all improvements located in the Lagoon Zone, including, but not limited to: Docks, Decks, gangways, other Improvements.
- c) All Decks and deck-related improvements located within the Public Levee Maintenance Easement (LVME) shall be designed and constructed to facilitate periodic levee inspections, repairs, maintenance, reconstruction, and replenishment of the rock slope protection. The design of the Deck and deck-related improvements should consider using hinged Deck panels, removable panels, removable components, and/or smaller Deck panels that can be easily removed and replaced in segments to facilitate potential levee inspections, maintenance and repairs.
- d) **Property Owners are advised that any costs associated with any removal, repair and/or replacement of any Dock, Deck, ancillary structure or other improvements located within the Public Levee Maintenance Easement (LVME) over the Lagoon as required by BIMID are at the sole expense of the Owner.**
 - Refer to Section 3.8 for "*5' Levee Access and Maintenance Area (LAMA)*".
 - Refer to Section 7.18 for "*BIMID Requirements for Decks in the Lagoon Zone*".

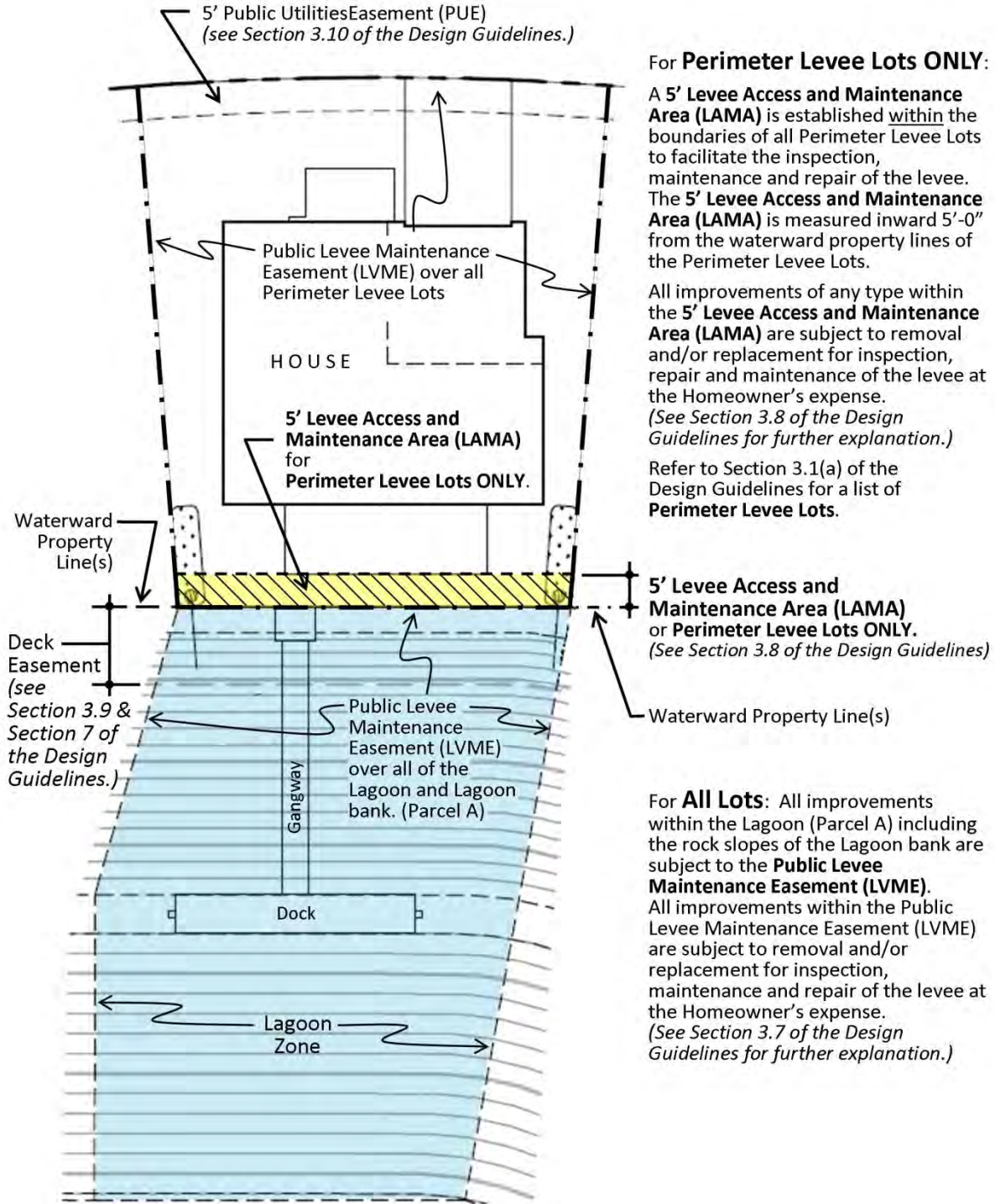
All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

3.8. 5' Levee Access and Maintenance Area (LAMA) within all Perimeter Levee Lots.

- a) A Public Levee Maintenance Easement (LVME) is established and defined over the entirety of all **Perimeter Levee Lots** as shown on the Final Subdivision Map for *Subdivision 6013 Delta Coves at Bethel Island*, as recorded in the Contra Costa County Recorder Office, including any amendments that may be made from time to time.
- b) For all Perimeter Levee Lots, a **5' Levee Access and Maintenance Area (LAMA)** is established within and over portions of a Perimeter Levee Lot, as measured 5'-0" wide and inward from all waterfront property line(s). *(Refer to the illustration below for further explanation.)*
- c) The 5' Levee Access and Maintenance Area (LAMA) only applies to Perimeter Levee Lots. Perimeter Levee Lots are identified in Section 3.1(a) of these Design Guidelines.
- d) The 5' Levee Access and Maintenance Area (LAMA) is established to facilitate periodic levee inspections, repairs, maintenance, reconstruction, and replenishment of rock slope protection and Lagoon levee as required by BIMID.
- e) All improvements installed by the Original Homebuilder and/or the Owner (including any previous property owners) that are located within the 5' Levee Access and Maintenance Area (LAMA) are subject to the conditions and restrictions of BIMID. Although, at this time, specific review and approval by BIMID is not necessary for proposed improvements in the 5' Levee Access and Maintenance Area (LAMA), the improvements in this area must nonetheless comply with the conditions and restriction of BIMID.
- f) All improvements located within the 5' Levee Access and Maintenance Area (LAMA) should consider using removable panels and removable components that can be easily removed and replaced in segments to facilitate the potential levee inspections, maintenance and repairs by BIMID, if necessary.
- g) **Property Owners are advised that any costs associated with any removal, repair and/or replacement of any improvements located within the 5' Levee Access and Maintenance Area (LAMA) as required by BIMID are at the sole expense of the Owner.**
 - Refer to Section 3.1(a) for "Perimeter Levee Lots".
 - Refer to Section 3.7 for "Public Levee Maintenance Easement (LVME)"



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.



For Perimeter Levee Lots ONLY:

A **5' Levee Access and Maintenance Area (LAMA)** is established within the boundaries of all Perimeter Levee Lots to facilitate the inspection, maintenance and repair of the levee. The **5' Levee Access and Maintenance Area (LAMA)** is measured inward 5'-0" from the waterward property lines of the Perimeter Levee Lots.

All improvements of any type within the **5' Levee Access and Maintenance Area (LAMA)** are subject to removal and/or replacement for inspection, repair and maintenance of the levee at the Homeowner's expense.
(See Section 3.8 of the Design Guidelines for further explanation.)

Refer to Section 3.1(a) of the Design Guidelines for a list of **Perimeter Levee Lots**.

5' Levee Access and Maintenance Area (LAMA) or Perimeter Levee Lots ONLY.
(See Section 3.8 of the Design Guidelines)

For All Lots: All improvements within the Lagoon (Parcel A) including the rock slopes of the Lagoon bank are subject to the **Public Levee Maintenance Easement (LVME)**. All improvements within the Public Levee Maintenance Easement (LVME) are subject to removal and/or replacement for inspection, maintenance and repair of the levee at the Homeowner's expense.
(See Section 3.7 of the Design Guidelines for further explanation.)

**5' Levee Access and Maintenance Area (LAMA)
and
Public Levee Maintenance Easement (LVME)**

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

3.9. Deck Easement

- a) A *Grant of Easement* (aka: the “Deck Easement”) exists to allow the location, use, construction, maintenance, replacement, and enjoyment of Decks and deck-related improvements in a portion of the Lagoon Zone that is contiguous to each residential Lot in Delta Coves. The Deck Easement is recorded in the Contra Costa County Recorder Office as DOC-2020-0227303, including any amendments that may be made from time to time.
- b) All improvements located within the Deck Easement must be approved by the DRC prior to installation and must comply with the design criteria in Section 7 of these Design Guidelines.
 - Refer to Section 7 for “*Design Standards for Decks in the Lagoon Zone*”.

3.10. Public Utilities Easement (PUE).

- a) A 5’ Public Utilities Easement (PUE) is recorded over a portion of the Front Yard Zone that is adjacent to the right-of-way for the street adjacent to each residential Lot in Delta Coves.
- b) The Public Utility Easements (PUE) are delineated, dimensioned and defined on the Final Subdivision Map for *Subdivision 6013 Delta Coves at Bethel Island* recorded in the Contra Costa County Recorder Office, including any amendments that may be made from time to time. In addition, the Public Utility Easement (PUE) is often delineated and labeled the Site Plan or Plot Plan for each residential Lot that is available from the Original Homebuilder.
- c) An Owner may not cause any action, work or improvements that impede or otherwise alter the ability of the Public Utilities Easement (PUE) to function as intended.
- d) Any improvements installed and/or maintained by the Owner that are located within the Public Utilities Easement (PUE) must comply with the requirements of the easement. In general, buildings, structures, walls, fences, excavation, or other significant improvements are not allowed to be located in or over a Public Utilities Easement (PUE). Landscaping, driveways, and walkways are allowed within the Public Utilities Easement (PUE), but are subject to the criteria noted below.
- e) Any improvements installed by the Original Homebuilder or the Owner (including any previous property owner) that are located within, on or above the Public Utilities Easement (PUE) are subject to removal if necessary by the applicable benefitted agency to repair, replace, use, add to, upgrade, or maintain the public utilities within the Public Utilities Easement (PUE), including, but not limited to: water, sewer, electric, gas, telephone, cable television, and data utilities and services. If this becomes necessary, the replacement of an Owner’s improvements within the Public Utilities Easement (PUE) on the Lot is at the expense of the Owner.

3.11. Storm Drain Easement (SDE).

- a) Certain lots within Delta Coves include a Storm Drain Easement (SDE), underground storm drain culverts, and other associated drainage improvements. These existing improvements are often not noticeable because they are located underground and were installed prior to construction of the home.
- b) The Storm Drain Easements (SDE) are delineated, dimensioned and defined on the Final Subdivision Map for *Subdivision 6013 Delta Coves at Bethel Island* recorded in the records of the Contra Costa County Recorder Office, including any amendments that may be made from time to time. In addition, the Storm Drain Easement (SDE) is often delineated and labeled the Site Plan or Plot Plan for each residential Lot that is available from the Original Homebuilder.
- c) An Owner may not cause any action, work or improvements that modify, impede or otherwise alter the ability of the drainage improvements and the Storm Drain Easement (SDE) to function as designed, engineered and constructed.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- d) Any improvements installed and/or maintained by the Owner (including any previous property owners) that are located within the Storm Drain Easement (SDE) must comply with the requirements of the easement. In general, buildings, structures, pools, spas, shade structures, barbecues, fire features, water features, or other significant improvements are not allowed to be located within or over a Storm Drain Easement (SDE). Landscaping, patios and fences are allowed within the Storm Drain Easement (SDE), but are subject to the criteria noted below.
- e) Any improvements installed by the Original Homebuilder or Owner (including any previous property owners) that are located within, on or above the Storm Drain Easement (SDE) are subject to removal, if necessary, for the applicable benefitted agency to repair, replace, use, upgrade or maintain the existing storm drain and related drainage improvements. If this becomes necessary, the replacement of Owner improvements within the Storm Drain Easement (SDE) on the lot is at the expense of the Owner.

3.12. Setbacks.

- a) All buildings, Additions and Accessory Structures must comply with the applicable building setbacks approved for Delta Coves by the County.
- b) Minimum building setbacks are specified on the illustrations below.
- c) **Different building setbacks apply to Perimeter Levee Lots and Peninsula Lots.** Refer to Section 3.1 of these Design Guidelines to determine the applicable lot type.
- d) Any building, Addition or Accessory Structure (or portion thereof) that is located less than five feet (5'-0") from a property line shall also comply with all applicable building codes and ordinances, including requirements in the Fire Code regarding the use of combustible materials and fire rated materials.
- e) The DRC does not recommend constructing buildings, Additions or Accessory Structures within the 5' Levee Access and Maintenance Area (LAMA). All improvements located within the 5' Levee Access and Maintenance Area (LAMA) should consider using removable components that can be easily removed and replaced in segments to facilitate the potential levee inspections, maintenance and repairs by BIMID, if necessary, as outlined in Section 3.8 of these Design Guidelines. Owners are advised that any costs associated with any removal, repair and/or replacement of any improvements located within the 5' Levee Access and Maintenance Area (LAMA) as required by BIMID are at the sole expense of the Owner.
 - Refer to Section 3.1(a) for "*Perimeter Levee Lots*".
 - Refer to Section 3.1(b) for "*Peninsula Lots*".
 - Refer to Section 3.8 for "*5' Levee Access and Maintenance Area (LAMA)*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

3.13. Building Heights:

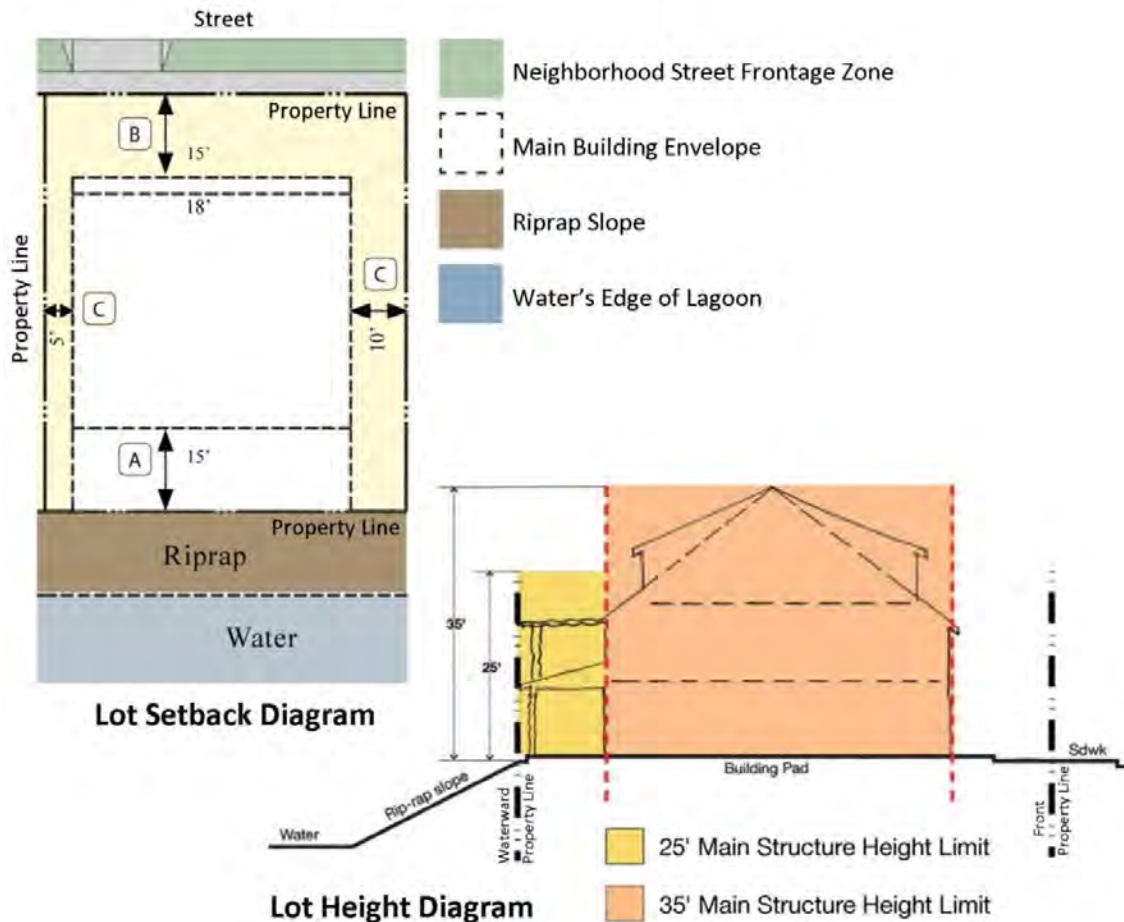
- a) All building heights shall comply with the zoning, planning and entitlements approved for Delta Coves by the County.
- b) Maximum building heights are specified on the illustrations below.
- c) All additions, modifications and improvements must comply with the applicable building height limits.
- d) At times, stricter height limitations may exist for certain improvements or certain locations as outlined in greater detail in the individual sections of these Design Guidelines.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

BUILDING SETBACKS PENINSULA LOTS		
A	Waterfront Setback - covered porch	0'
A	Waterfront Setback - Main House 25' height	0'
A	Waterfront Setback - Main House 35' height	15'
B	Street Setback - Main House	15'
B	Street Setback - Garage	18'
C	Side Setback	5'-10'
<ul style="list-style-type: none"> Side setback is 15' cumulative of both sides and no less than 5' on either side 2nd story porches and roof decks are limited to 15' above the finished floor of the first story within 15' of the waterfront setback, and shall include privacy screening protecting the neighboring lot(s). 		
ALLOWABLE ENCROACHMENTS		
<ul style="list-style-type: none"> Chimneys, fire escapes, open stairways, etc. per 82-14.002 of CCC code. Open and unconditioned entry porches are allowable encroachments into the front setback up to 10' from the property line, subject to County and DRC review and approval. 		

Peninsula Lots Building Setbacks Building Heights

(Refer to Section 3.1 of these Design Guidelines to determine if your lot is a "Peninsula Lot" or a "Perimeter Levee Lot".)



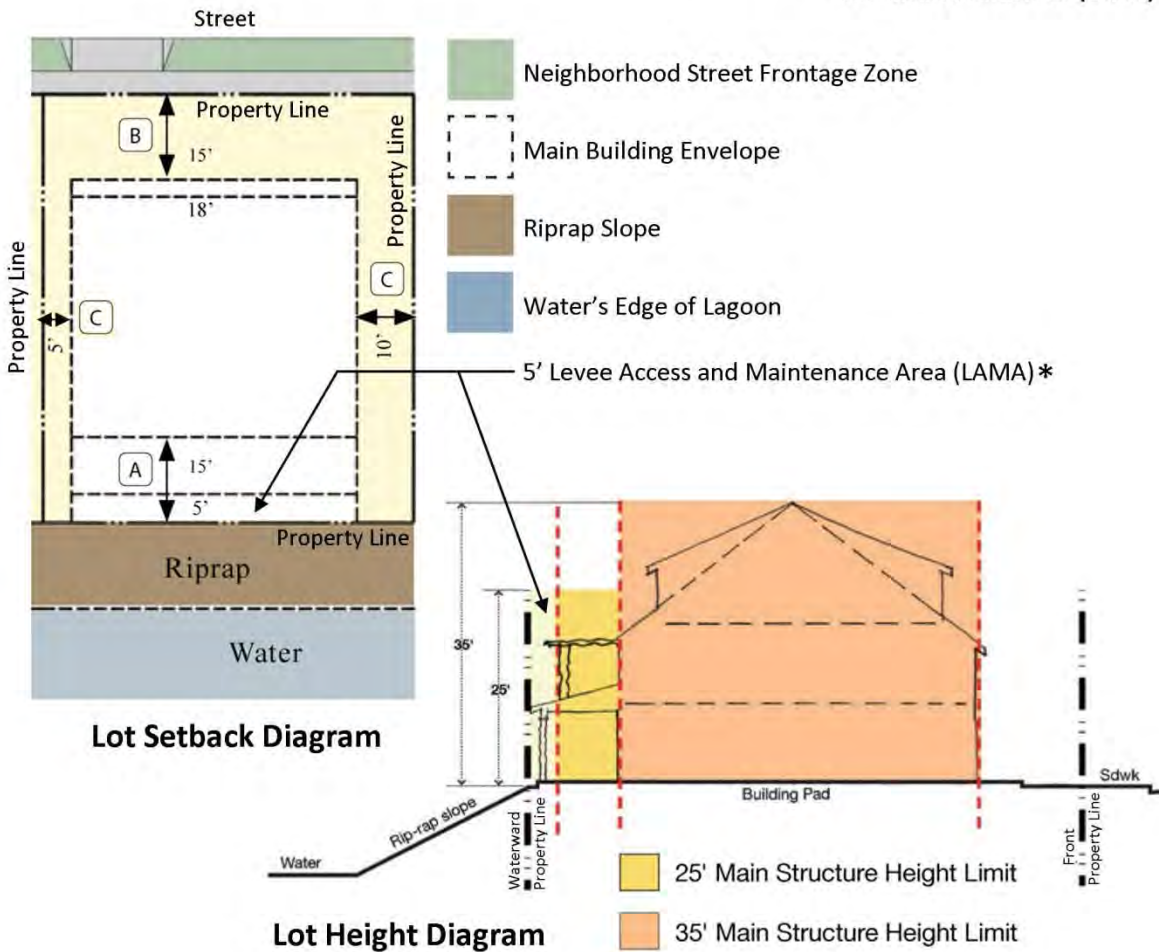
All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

BUILDING SETBACKS PERIMETER LOTS		
A	Waterfront Setback - covered porch	0' *
A	Waterfront Setback - Main House 25' height	5'
A	Waterfront Setback - Main House 35' height	15'
B	Street Setback - Main House	15'
B	Street Setback - Garage	18'
C	Side Setback	5'-10'
<ul style="list-style-type: none"> Side setback is 15' cumulative of both sides and no less than 5' on either side 2nd story porches and roof decks are limited to 15' above the finished floor of the first story within 15' of the waterfront setback, and shall include privacy screening protecting the neighboring lot(s). 		
ALLOWABLE ENCROACHMENTS		
<ul style="list-style-type: none"> Chimneys, fire escapes, open stairways, etc. per 82-14.002 of CCC code. Open and unconditioned entry porches are allowable encroachments into the front setback up to 10' from the property line, subject to County and DRC review and approval. 		

Perimeter Levee Lots Building Setbacks Building Heights

(Refer to Section 3.1 of these Design Guidelines to determine if your lot is a "Peninsula Lot" or a "Perimeter Levee Lot".)

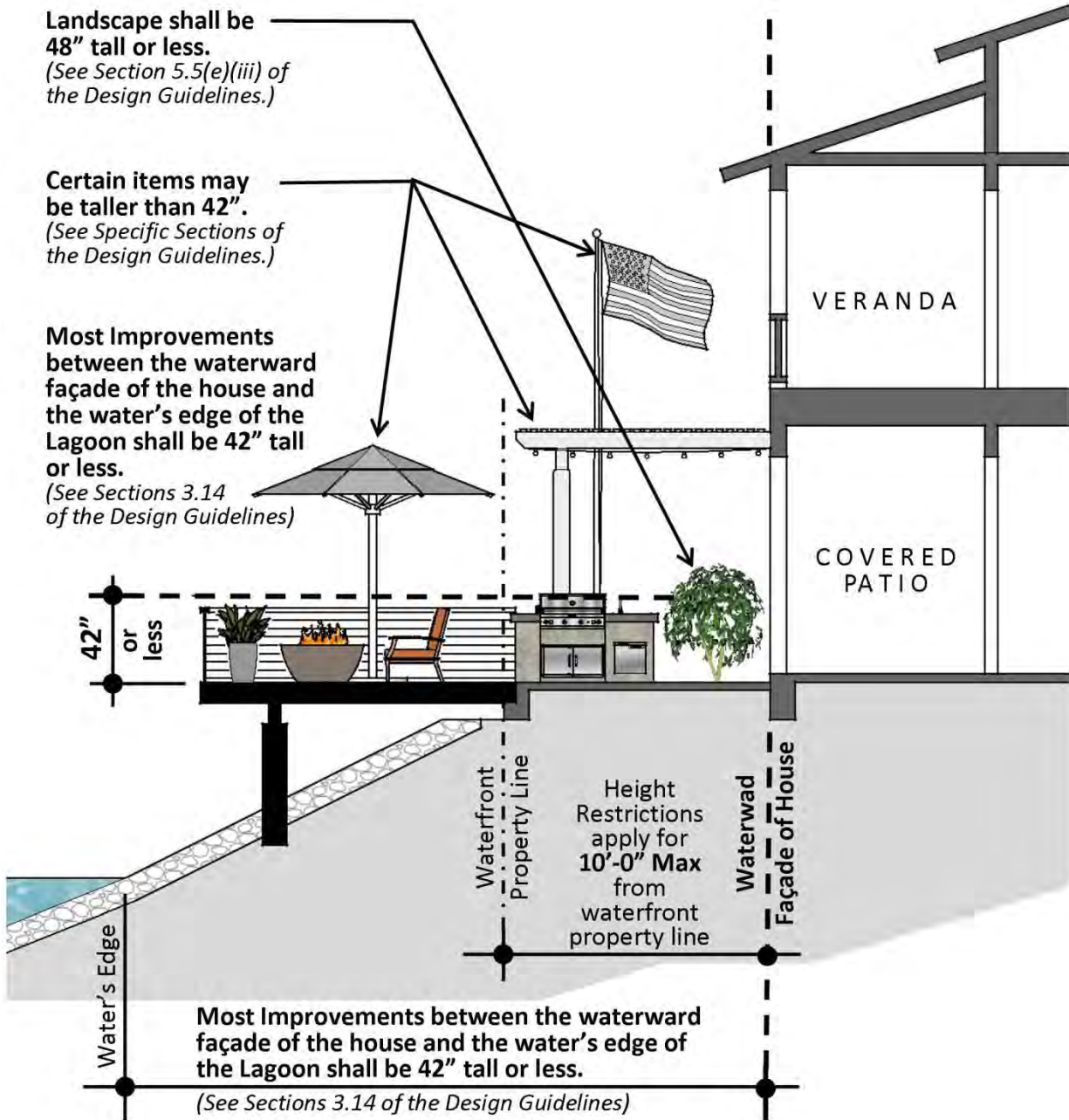
* A covered porch is required to be open on all sides with no solid walls or solid railings. Any improvements or buildings located in the 5' Levee Access and Maintenance Area (LAMA) are subject to the restrictions outlined in Section 3.8 of these Design Guidelines, including potential removal. The DRC does not recommend constructing buildings, Additions or Accessory Structures within the 5' Levee Access and Maintenance Area (LAMA)



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

3.14. Height Limits in the Waterward Portions of Rear Yard Zone and Deck Easement.

- a) In order to maximize the openness and maintain the visual appearance of the edge of the Lagoon, the height of most improvements located between the waterward façade of the home and the water's edge of the Lagoon shall be limited. These height limits include improvements on or part of a Deck in the Lagoon Zone.
- b) Due to a variety of setbacks along the waterfront, the height limits outlined in this Section of the Design Guidelines will apply for a maximum of ten feet (10'-0") from the waterfront property line(s); or to the waterward façade(s) of the home, whichever is the smaller of the two dimensions. Refer to the attached illustration for further explanation.
- c) In general, hard improvements in this area, including, but not limited to: fences, walls, railings, Decks, barbeques, outdoor kitchens, fire elements, water features, spas, planters, trellises, and other hard improvements shall be limited to maximum height of forty-two inches (42") tall, as measured above the adjacent finished grade, patio, or walking surface, unless specifically approved otherwise by the DRC.
- d) Landscaping in this portion of the Rear Yard Zone shall be limited and maintained to a maximum height of forty-eight inches (48"), as measured above the adjacent finished grade, patio, or walking surface, unless specifically approved otherwise by the DRC.
- e) A few improvements are allowed to exceed the maximum forty-two inches (42") in height in these areas, as specifically noted in the individual sections of the Design Guidelines for such improvements, including, but not limited to: Additions, covered patios, shade structures, umbrellas, patio heaters, retractable awnings, flags, and string lights. In general, improvements in this area that are taller than forty-two (42") consist of relatively thin vertical elements such as posts and columns; and do not have large vertical areas of solid walls or masses. Refer to each individual section of these Design Guidelines for specific design criteria for each type of improvement.
- f) Due to the wide variety of conditions and improvements that may occur, the DRC reserves all rights to approve or deny improvements based on height in this portion of the Rear Yard Zone and Deck Easement in its sole discretion are part of its effort to evaluate and enforce the intent of these criteria.
 - *Refer to the attached illustration below for further explanation.*



Height Limits for Improvements in the Waterward Portions of Rear Yard Zone and Deck Easement

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

3.15. Soil Considerations and Lot Settlement.

- a) All soil, by its nature, exhibits some expansive and/or subsidence potential.
- b) When designing and constructing any Improvements on the property that attach to the ground, including, but not limited to: masonry walls, fences, planters, slabs, walkways, driveways, pools, spas, patios, decks, shade structures, fire pits, barbecue islands, and other Improvements, the Owner (including the designer and Contractor) must take special care to evaluate and accommodate the soil conditions of the property. The Owner may want to obtain, at their expense, a geotechnical analysis prior to designing and constructing any Improvements in order to obtain recommended geotechnical design parameters and to ensure proper precautions and stability measures are taken during the design and construction of any proposed Improvements.
- c) In addition, properties located of in fill areas or in areas underlain by materials other than bedrock will generally settle over time. The settlement is a natural and predicted occurrence and should be expected throughout the Community. Due to the physical characteristic differences and variations of the thickness of fill in different areas within the Community, as well as variable subsurface conditions, sometimes the settlement is not uniform. The difference in settlement between different areas is what is termed “differential settlement”.
- d) It is the Owner’s responsibility to properly design, construct and install any Improvements which the Owner causes to be constructed so as to protect those Improvements from damage due to any soil conditions (including expansion and subsidence) or other environmental conditions that may exist on the Lot.
- e) The Declarant, the DCMC, and the DRC shall have no responsibility or liability of any type in connection with said soil or environmental conditions including, but not limited to: repair of any cracking or damage, which may occur to Improvements installed by the Owner (or any previous property owner) as a result of the effects of any soil expansion, soil subsidence, differential settlement or slope creep.
- f) Owners are cautioned to avoid excessive watering, irrigation and/or overspray of landscape areas on the Lot, particularly in close proximity to the home, walls, fences, or other Improvements. The Owner should periodically evaluate the underground irrigation system in order to detect potential leaks. Excessive watering or a leaking irrigation system may result in structural or other physical damage to the home or other Improvements. The Declarant, the DCMC, and the DRC shall not be responsible or liable for any damage to persons or property caused by the alteration of the grade, excessive watering, and/or soil conditions caused by the Owner (including his contractors and maintenance providers). The Owner is required to maintain the lot grade, drainage conditions, and soil conditions of the property as of the date of the initial closing. It is the Owner’s responsibility to notify and ensure compliance of any Contractors and landscape maintenance service providers regarding these requirements.

Section 4

ARCHITECTURAL STANDARDS

4.1. Introduction.

The construction, installation, erection, addition, modification, and/or placement of any Improvement, permanently or temporarily, on the exterior portions of a Residence; or upon or within a front, side, or rear yard; or within the portions of the Lagoon Zone associated with the Lot; whether such portion of the property is improved or unimproved, shall include, without limitation, obtaining the prior written approval of the DRC in accordance with the procedures and criteria of these Design Guidelines. Such approval from the DRC shall be subject to the restrictions, requirements, and conditions set forth in the applicable governing documents, including but not limited to: these Design Guidelines; the CC&Rs; applicable governing agencies; and other rules, regulations and policies of the Delta Coves Maintenance Corporation.

All exterior additions, modifications or other improvements must be submitted to the DRC for review and approval prior to construction or installation.

4.2. Accessory Buildings and Structures (Detached).

- a) Detached Accessory Buildings or stand-alone structures, including, but not limited to: guest houses, cabanas, studios, home offices, pool houses, detached garages, green houses, architectural shade structures, storage buildings, storage sheds larger than eighty square feet (80 sf), workshops, or other stand-alone or detached structures are not likely to be approved by the DRC due to site plan constraints, lot sizes, levee issues, easements, and setback conditions. For the purpose of these Design Guidelines, an Accessory Building is considered a free-standing detached structure that is not physically or structurally connected to the main Residence. The DRC will evaluate a request for a detached Accessory Building on a case-by-case basis.
- b) A detached Accessory Building must be located with the building setbacks established for the Lot.
- c) A detached Accessory Building may only be located within the Rear Yard Zone.
- d) A detached Accessory Building may not exceed one-thousand two-hundred square feet (1,200 s.f.) in size.
- e) A detached Accessory Building must comply with the lot coverage limitations imposed by the applicable zoning regulations of the County.
- f) A detached Accessory Building must be separated from the structural line, walls and overhangs of the main Residence in accordance with the regulations and separation requirements of the County and the Fire Code.
- g) The maximum allowed height for any Accessory Building is fifteen feet (15'-0") above the primary finished floor elevation of the main Residence, unless otherwise approved by the DRC.
- h) The appearance of an Accessory Building must be architecturally compatible and consistent with the architectural style and character of the main Residence. An Accessory Building shall match the architectural style, forms, geometry, roof slopes, materials, colors, finishes, and detailing of the main Residence.
- i) In addition to obtaining approval from the DRC, it is the Owner's responsibility to obtain all necessary reviews, approvals and permits from other applicable governing agencies prior to construction of an Accessory Building. An Accessory Building must comply with all applicable zoning, building, and fire code requirements of the applicable governing agencies.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- j) Because there are so many different possibilities for a detached Accessory Building, the DRC will review Accessory Buildings on a case-by-case basis. The approval of the location, size, height, and placement of an Accessory Building is at the sole discretion of the DRC. The DRC reserves all rights to not approve an Accessory Building that is deemed to be inappropriate in the sole opinion of the DRC for reasons including, but not limited to: size, scale, height, form, shape, prominence, lot coverage, lot size, yard size, setbacks, proximity to adjacent properties, visual impact, appearance, details, colors, and/or materials.
- k) Due to the complexity of the review, special Design Review Fees may apply to an application for an Accessory Building.
- l) Specific small-scale detached structures, such as Shade Structures and Storage Sheds (less than 80 sf in size) are covered in separate sections of these Design Guidelines.
 - Refer to Section 3.12 for "*Setbacks*".
 - Refer to Section 4.3 for "*Additions (Attached)*" (*for expansion of the Residence*).
 - Refer to Section 4.49 for "*Internal Conversions / Interior Remodeling*".
 - Refer to Section 4.83 for "*Shade Structures in the Rear Yard Zone*".
 - Refer to Section 4.92 for "*Storage Structures: Storage Buildings, Storage Sheds and Storage Lockers*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.3. Additions (Attached). Expansion or addition of habitable spaces (whether enclosed or unenclosed) that are part of or attached to the main Residence may be allowed when approved by the DRC and subject to compliance with the design criteria below. For the purpose of these Design Guidelines, Additions are considered to be permanently and structurally connected and attached to the main Residence.

- a) Additions must match the character, architectural style, forms, shapes, geometry, building massing, roof slopes, materials, details, and colors of the Original Construction. The primary objective is that any Addition appears seamless with the existing Residence.
- b) Such Additions shall be reviewed by the DRC on a case-by-case basis for appropriateness and compatibility, as well as for potential neighborhood impact.
- c) An Addition must comply with the existing easements, building setbacks, height limitations, and lot coverage ratios as required by these Design Guidelines, the County, and the applicable zoning regulations.
- d) If allowed by the zoning ordinance, any portion of an Addition (including overhangs) that is located within three feet (3'-0") of a property line must also comply with all applicable building codes and fire codes related to the use and/or requirement of fire-rated materials for structures that are located in close proximity to a property line.
- e) The maximum height of any Addition to an existing Residence shall be no higher than the highest roofline of the Original Construction.
- f) It is the Owner's responsibility to obtain all necessary permits and other local, state, and federal approvals. An Addition must comply with all applicable zoning, building, fire code and permitting requirements. The Owner shall obtain approval of the Addition from the DRC prior to making any submittals to other governmental agencies.
- g) Because there are so many different possibilities for an Addition, the DRC will review Additions on a case-by-case basis. The approval of the location, size, height, composition, massing, scale and placement of any Addition is at the sole discretion of the DRC. The DRC reserves all rights to not approve an Addition that is deemed to be inappropriate in the sole opinion of the DRC including, but not limited to, reasons of: size, scale, height, form, shape, proportion, prominence, composition, lack-of-integration, lot coverage, lot size, yard size, proximity to adjacent properties,

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

proximity to the Lagoon, proximity to the street, visual impact, appearance, details, colors, and/or materials.

- h) Due to the complexity of the review, special Design Review Fees may apply to an application for an Addition.
- Refer to Section 3.12 for "*Setbacks*".
 - Refer to Section 3.13 for "*Building Heights*".
 - Refer to Section 4.2 for "*Accessory Buildings and Structures (Detached)*".
 - Refer to Section 4.36 for "*Front Porches, Covered Front Entries and Front Balconies*".
 - Refer to Section 4.49 for "*Internal Conversions / Interior Remodeling*".
 - Refer to Section 4.57 for "*Patio Roofs and Patio Covers*".
 - Refer to Section 4.71 for "*Roof Decks, Roof Terraces, Verandas and Upper-Level Outdoor Living Areas*".
 - Refer to Section 4.83 for "*Shade Structures in the Rear Yard*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.4. Address Identification / Address Markers.

- a) Each Residence is required to provide and maintain address identification numerals located on the building structure, wall or fence at all times which are legible and visible from the street and comply with the criteria and requirements of the County and of the local Fire Marshall.
- b) A maximum of one (1) set of address numbers is allowed facing the street for each property.
- c) Address identification is allowed, but not required, at the Dock. Refer to Section 8.18 of these Design Guidelines for additional information regarding signage improvements at a Dock in the Lagoon Zone.
- d) Address identification numbers shall be made of durable, low-maintenance materials such as metal, tile, and/or paint; and shall complement the architectural style of the home.
- e) Address identification numbers may not exceed eight inches (8") in height and should consist of a simple font style that is legible and complements the architectural design of the home.
- f) The overall size of an address plaque, plate, or sign may not exceed twelve inches (12") high by eighteen inches (18") wide.
- g) Due to requirements for easy legibility for emergency services, address identification must use numerals (i.e. "44") and may not use written words (i.e. "Forty-Four".)
- h) Address markers should not have unnecessary ornamentation, graphics, illustrations, caricatures, or ornate detail, as determined in the sole discretion of the DRC.
- i) Address identification may not be placed on freestanding signs.
- j) Address identification numerals are not allowed to be painted on any curbs, sidewalks or driveways.
- k) Soft, subtle and fully-shielded external illumination of the address identification numbers is encouraged in order to provide visibility of the address numbers at night. Lighting, if any, must comply with the design criteria for exterior lighting as outlined in Section 6 of these Design Guidelines.
- l) The DRC reserves the right to not approve any address identification or address marker that the DRC deems in its sole discretion to be: too bold; out of character with the architecture of the home; too large; too decorative; too ornate; too "artsy"; too "plain"; or otherwise inappropriate.
- Refer to Section 4.86 for "*Signs and Signage*".
 - Refer to Section 6 for "*Outdoor Lighting*".
 - Refer to Section 8.18 for "*Dock Signage*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.5. Air Conditioning and HVAC Equipment.

- a) All ground-mounted air conditioning and HVAC equipment must be screened from the street, neighboring properties and common areas.
- b) Air conditioning and HVAC equipment is not allowed in the Front Yard Zone.
- c) Rooftop, roof-mounted, or window-mounted air conditioning or HVAC equipment is prohibited.
- Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.6. Antennas and Satellite Dishes. Antennas, satellite dishes, transmission dishes, or other apparatus for the transmission, reception, or communication of television, radio, satellite, data, or other signals may be allowed when approved by the DRC and subject to compliance with the following design criteria.

- a) Unless otherwise permitted by law, all Antennas and Satellite Dishes shall be located in the least visible location to help control the visual clutter of non-architectural elements attached to the exterior of the home.
- b) Small Antenna and Satellite Dishes under 18” in diameter may be mounted on the roof but are to be completely concealed from view of other lots, the streets, and the sidewalk.
- c) Antennas and Satellite Dishes larger than 18” in size shall be ground-mounted and may not be located on a roof or building wall; and must be located behind a Yard Fence or screen wall.
- d) Unless otherwise protected by law, Antennas and Satellite Dishes are not permitted on, or in front of, the front face of the Residence or within the Front Yard Zone.
- e) All wiring, cables and conduits shall be located in the least visible locations possible. Wiring and cables should be tucked into corners or run under eaves in order to minimize visibility. Any exposed wiring, cables, and conduits shall be painted to match the color of the adjacent building surface.

4.7. Architectural Consistency. Any addition, modification, improvement, or repair to a Residence must match and/or be consistent with the character, architectural style, forms, shapes, geometry, building massing, materials, details, and colors of the Original Construction. The primary objective of any new improvements is to appear seamless with the existing home and the Original Construction. The DRC reserves all rights to not approve any improvement that the DRC deems, in its sole discretion, to be inconsistent with the existing architectural style and character of the Residence.

- Refer to Section 1.3 for *"Interpretation of the Design Guidelines"*.
- Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.8. Architectural Details (Ornamental or Structural).

- a) Architectural details, including ornamental and structural details, shall match the architectural style and character of the home.
- b) In general, architectural details shall be centered, balanced, organized, and symmetrical as part of the architectural composition. Architectural details that are inconsistent with the architectural style of the home or with random patterning or spacing may not be permitted by the DRC.
- c) Unless specifically approved otherwise, whether for functional or aesthetic purposes, architectural details such as vents, louvers, flashing, chimney caps, railings, trims, window surrounds, corbels, braces, brackets, posts, and decorative metalwork shall be made of complementary colors and materials using design characteristics that relate to the architectural style of the home.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- d) The DRC will review architectural details on a case-by-case basis. The DRC reserves all rights to not approve any architectural details that the DRC deems, in its sole discretion, to be inconsistent with the existing architectural style and character of the Residence.
- Refer to Section 1.3 for "*Interpretation of the Design Guidelines*".

4.9. Art, Artwork, Sculpture and Ornamentation (Exterior). Exterior art, artwork, sculptures, ornamentation, decorative elements, and other decorative exterior components, objects or items may be allowed if approved by the DRC and subject to compliance with the following design criteria.

- a) In general, Exterior Ornamentation includes, but is not limited to: statues, art, artwork, sculpture, wagons, wagon wheels, antique elements, representations of animals or people, weather vanes, windmills, wind sculptures, bird baths, bird houses, fountains, gazing balls, paintings, murals, displays, decorative signs, decorative flags, decorative rocks, decorative elements, decorative posts, or any other miscellaneous ornamentation items as determined in the sole discretion of the DRC.
- b) In general, Exterior Ornamentation shall be located within enclosed courtyards, the enclosed rear yard, or other screened outdoor areas within the landscape. In general, exterior ornamentation should not be highly visible from Public View and should not be highly visible from surrounding residential lots, unless specifically allowed otherwise by the DRC.
- c) **Neighborhood Street Frontage Zone:** Exterior Ornamentation of any type is not allowed in the Neighborhood Street Frontage Zone.
- d) **Front Yard Zone:**
 - i) Exterior Ornamentation is not allowed in the Front Yard Zone, unless specifically approved otherwise by the DRC.
 - ii) In general, the DRC will not allow Exterior Ornamentation to be located in the middle of the Front Yard Zone; nor will the DRC allow these types of elements to be attached to the front face of the Residence.
 - iii) The DRC reserves the right to allow Exterior Ornamentation immediately adjacent to the front entry of the home; on a Front Porch; or within an enclosed front courtyard on a case-by-case basis when specifically approved by the DRC. Typically, the DRC will not allow more than three (3) pieces of Exterior Ornamentation in these areas.
- e) **Rear Yard Zone:**
 - i) Exterior Ornamentation may be allowed by the DRC in the Rear Yard Zone on a case-by-case basis and in the sole discretion of the DRC.
 - ii) Typically, the DRC will not allow more than two (2) pieces of Exterior Ornamentation in the Rear Yard Zone.
 - iii) Exterior Ornamentation may not be attached, hanging or mounted to a fence or railing that faces the Lagoon.
- f) **Deck in the Lagoon Zone:**
 - i) Exterior Ornamentation is discouraged on a Deck in the Lagoon Zone; but may be allowed by the DRC on a case-by-case basis when specifically approved by the DRC.
 - ii) The height of any Exterior Ornamentation on a Deck in the Lagoon Zone may not exceed forty-two inches (42") above the Deck walking surface.
 - iii) Typically, the DRC will not allow more than two (2) pieces of Exterior Ornamentation on a Deck in the Lagoon Zone.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- iv) Exterior Ornamentation may not be attached, hanging or mounted to a Deck or railing that faces the Lagoon.
- g) **Dock in the Lagoon Zone:**
 - i) Exterior Ornamentation is discouraged on a Dock in the Lagoon Zone; but may be allowed by the DRC on a case-by-case basis when specifically approved by the DRC.
 - ii) Typically, the DRC will not allow more than two (2) pieces of Exterior Ornamentation on a Dock in the Lagoon Zone.
- h) If allowed by the DRC, Exterior Ornamentation shall be constructed of materials that do not cause a nuisance for neighboring properties.
- i) Exterior Ornamentation may not be illuminated in a manner that is visible from off-site.
- j) The DRC reserves the rights to limit and/or prohibit any Exterior Ornamentation that it deems to be inappropriate for reasons of location, subject matter, height, color, materials, size, quantity, reflectivity, motion, prominence, visual impact and/or location, as determined in the sole discretion of the DRC.
 - Refer to Section 4.33 for "*Flags and Flag Poles*".
 - Refer to Section 4.48 for "*Holiday Lights and Holiday Decorations (Temporary)*".
 - Refer to Section 4.64 for "*Pots and Planters*".
 - Refer to Section 4.102 for "*Water Features*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.10. Artificial Turf. Refer to Section 5.10 of these Design Guidelines for "*Artificial Turf / Synthetic Grass*".

4.11. Awnings, Canopies and Projecting Sunshades. Exterior awnings, canopies, projecting shades, retractable awnings, and similar types of projecting sunshade elements may be allowed when approved by the DRC and subject to compliance with the following design criteria:

- a) The design, style, shape, materials, colors and appearance of an awning or canopy, including the brackets and supports, must be appropriate to the architectural style and character of the home.
- b) In general, decorative supports and brackets that complement the architectural style of the home are required.
- c) In general, the sides of the awning shall be open. Box, dome, bubble, gable, convex, and concave shaped awnings are not allowed.
- d) All awnings, canopies and projecting shades shall be constructed of durable, low maintenance materials such as metal and outdoor fabric.
- e) Fabric awnings shall utilize fade resistant colors and materials specifically manufactured for outdoor use and with a minimum 5-year life span warranty, such as Sunbrella® fabrics.
- f) The color of the awning shall complement the exterior color palette and the architectural style of the home. Quiet and neutral colors such as whites, grays, charcoals, greens and rich earth-tones that blend with or complement the architecture, and that do not draw undue attention, are required. Fabric panels may be solid colors or subtle stripes. Bright, bold, dramatic, logoed, graphic-printed, or highly-patterned awnings are not allowed. The DRC reserves the right to not approve an awning color or pattern that the DRC deems in its sole discretion to be inappropriate.
- g) Retractable and operable awnings may be allowed only in the Rear Yard Zone on a case-by-case basis, if approved by the DRC.

- h) Awnings must be maintained in an attractive and well-kept manner at all times. If the awning becomes torn, ripped, frayed, significantly faded or discolored, dilapidated, or otherwise unsightly, the Owner shall remove, replace or repair the awning immediately.
- i) Awnings and similar improvements are subject to removal at the sole cost of the Owner if located within the 5' Levee Access and Maintenance Area (LAMA) for all Perimeter Levee Lots identified in Section 3.1(a) of these Design Guidelines. *(refer to Section 3.7 of these Design Guidelines for additional explanation of the LVME.)*
 - Refer to Section 3.8 for "5' Levee Access and Maintenance Area (LAMA)".
 - Refer to Section 4.19 for "Curtains (Outdoor)".
 - Refer to Section 4.70 for "Roll Down Sunscreens / Roller Shades".
 - Refer to Section 4.82 for "Shade Sails".
 - Refer to Section 4.106 for "Window Security Devices / Window Guards / Roll Down Security Shutters".
 - Refer to Section 4.107 for "Window Sunscreens / Window Solar Screens".

4.12. Barbeques and Outdoor Cooking Equipment. Barbeque units, grills, smokers, outdoor kitchens, outdoor pizza ovens, and other types of Outdoor Cooking Equipment may be allowed if approved by the DRC and subject to compliance with the following design criteria:

- a) Outdoor Cooking Equipment must be located within the Rear Yard Zone or on a Deck in the Lagoon Zone.
- b) Permanent or portable Outdoor Cooking Equipment is not allowed in the Neighborhood Street Frontage Zone nor in the Front Yard Zone, including on Front Porches or in Front Courtyards.
- c) Outdoor Cooking Equipment on a Dock in the Lagoon Zone is generally discouraged, but small-scale Outdoor Cooking Equipment on a Dock will be evaluated by the DRC on a case-by-case basis. Only portable fuel sources are allowed for Outdoor Cooking Equipment on a Dock.
- d) Outdoor Cooking Equipment including related islands, counters, cabinets, appliances, and structures must be designed to complement and integrate with the design of the home and landscape.
- e) Permanent or portable Outdoor Cooking Equipment shall be located a minimum of five feet (5'-0") from any side property lines, unless specifically approved otherwise by the DRC.
- f) The overall height of any Outdoor Cooking Equipment may not exceed forty-eight inches (48") tall as measured above the adjacent finished grade or primary walking surface.
- g) Any island, counter or structure related to Outdoor Cooking Equipment shall use the same materials, colors and details on all four (4) sides of the structure to ensure that the back side has the same appearance as the other faces of the improvements. Unfinished sides are not allowed.
- h) Any lighting for a barbeque or Outdoor Cooking Equipment shall comply with the criteria in Section X of the Design Guidelines for Outdoor Lighting Standards.



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- i) Fuel storage tanks must comply with the design criteria in Section 4.93 for "*Storage Tanks*".
- j) Small-scale and portable Outdoor Cooking Equipment, such as portable barbeque grills, do not require specific approval of the DRC, provided that such items comply with the design criteria in these Design Guidelines. As a reminder, portable Outdoor Cooking Equipment is not allowed in the Front Yard Zone or in the Neighborhood Street Frontage Zone.
- k) Outdoor Cooking Equipment, including islands, counters, cabinets and accessories, are subject to removal at the sole cost of the Owner if located within the 5' Levee Access and Maintenance Easement (LAMA) for all Perimeter Levee Lots identified in Section 3.1(a) of these Design Guidelines. (*Refer to Section 3.7 of these Design Guidelines for additional explanation of the 5' Levee Access and Maintenance Area (LAMA).*)
 - Refer to Section 3.7 for "*5' Levee Access and Maintenance Area (LAMA)*".
 - Refer to Section 4.32 for "*Fireplaces, Fire Pits and Other Outdoor Fire Elements*".
 - Refer to Section 4.93 for "*Storage Tanks*".
 - Refer to Section 7.12 for "*Other Deck-Related Improvements in the Deck Easement in the Lagoon Zone*".
 - Refer to Section 8.15 for "*Dock Amenities and Appurtenances*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.13. Basements. Basements, subterranean storm shelters, cellars, or other types of subterranean building improvements, structures or spaces are prohibited.

4.14. Basketball Goals.

- a) Permanent basketball goals, hoops and backboards are not permitted on any Lot.
- b) Portable basketball goals are permitted within the boundaries of the Lot subject to the following criteria:
 - i) Portable basketball goals shall be removed from Public View and stored in a non-visible location when not in use. Because the basketball goal must be removed when not in use, ease of mobility and portability should be considered when choosing this type of equipment.
 - ii) Portable basketball goals shall not be placed in a public street or right-of-way. Portable basketball goals may not impede a public sidewalk.
 - iii) Lighting of portable basketball goals is not permitted.
- c) Game courts and sport courts may be permitted on certain larger lots at the discretion of the DRC. Setbacks, landscaping, buffering and location shall be considered by the DRC before approving any court facilities. Game courts and accessories (such as basketball hoops) should be screened from street view and adjacent lots. Lighting of game courts and sport courts with overhead lighting is not allowed.
 - Refer to Section 4.89 for "*Sport Courts*".

4.15. Carports. Carports are prohibited.

4.16. Clotheslines.

- a) Clotheslines or other outdoor facilities for drying clothes shall be screened from Public View and may not be visible from neighboring properties, the street or the Lagoon.
- b) Clotheslines or similar outdoor drying facilities are not permitted in the Front Yard Zone; on a front porch; in a front courtyard; or on a second-floor balcony or terrace.
- c) Clotheslines are limited to a maximum height of six feet (6'-0") above the adjacent finished grade.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.17. Color Schemes (Exterior).

- Refer to Section 4.54 for "*Painting and Repainting*".
- Refer to Appendix "C" for the Approved Color Palettes.
- Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.18. Courtyards and Private Gardens. Courtyard living spaces and private garden entries shall be screened by a combination of informal plantings and formal hedges, fences and walls.

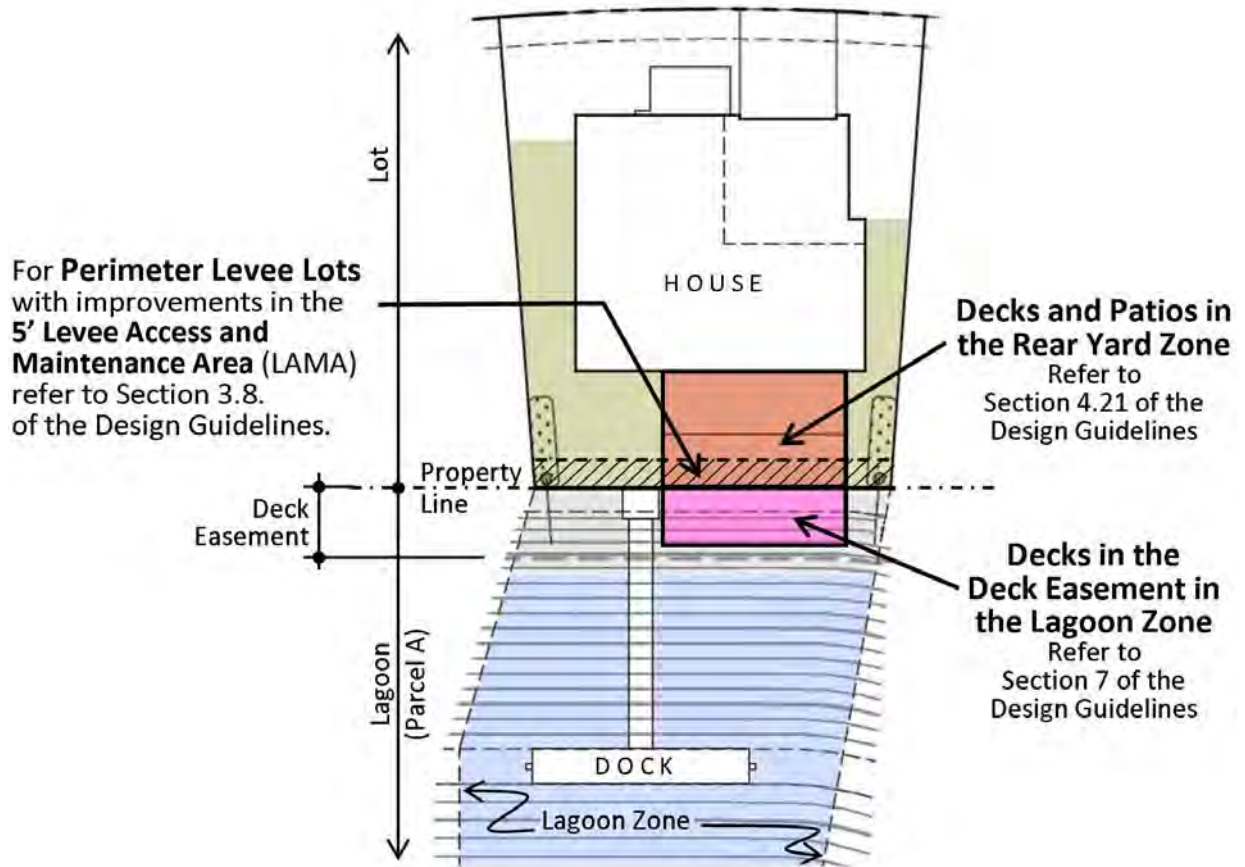
- Refer to Section 4.35 for "*Front Courtyards*".
- Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.19. Curtains (Outdoor). Outdoor curtains, drapes and similar vertical outdoor fabric elements may be allowed when approved by the DRC and subject to compliance with the following design criteria:

- a) Outdoor curtains are not allowed on any Front Elevation of the home or elevation exposed to a street, including Front Porches and Front Balconies.
- b) Outdoor curtains may be allowed at covered patios, verandas, and Shade Structures located on the rear elevation of the home or within the Rear Yard Zone subject to the approval by the DRC.
- c) If allowed, outdoor curtains must be mounted on the inside face of the structure, typically located inside of the header or inside of the beams.
- d) The outdoor curtain material must be made of durable, fade-resistant fabric that is specifically manufactured for outdoor use, such as Sunbrella® fabrics.
- e) Clear, shiny, or reflective plastic outdoor curtains are not allowed.
- f) Roll-down canvas, fabric tarps or fabric flaps are not allowed.
- g) The color of the curtain shall complement the exterior color palette of the homes. Bright or bold colors or patterns may not be allowed for any outdoor curtains.
- h) Owners should consider the impact of the breezes and wind on the ability to maintain the outdoor curtains in an attractive manner.
- i) Outdoor curtains must be maintained in an attractive and well-kept manner at all times. If the outdoor curtains become torn, ripped, significantly faded or discolored, dilapidated, or otherwise unsightly, the Owner shall remove, replace or repair the outdoor curtains immediately.
- j) The DRC reserves the right not to approve outdoor curtains on the basis of location, quantity, color, material or pattern that the DRC deems inappropriate in its sole discretion.

4.20. Decks in the Deck Easement in the Lagoon Zone. (Refer to Section 7 of these Design Guidelines)

Reference
Refer to Section 7 of these Design Guidelines for
Design Standards for Decks in the Deck Easement in the Lagoon Zone.



For All Lots: All improvements within the Lagoon (Parcel A) including the rock slopes of the Lagoon bank are subject to the **Public Levee Maintenance Easement (LVME)**. Refer to Section 3.7 of the Design Guidelines.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.21. Decks and Patios in the Rear Yard Zone.

General.

- a) **The design criteria in Section 4.21 of these Design Guidelines specifically applies to decks (or those portions of the deck), patios, and other hard walking surfaces that are located in the Rear Yard Zone and within the property lines of the Lot.** *(Refer to Section 7 of these Design Guidelines for a Decks in the Lagoon Zone.)*
- b) Decks, patios, walkways, stepping stones, and other types of hard walking surfaces are allowed in the Rear Yard Zone when approved by the DRC and subject to compliance with the following design criteria.
- c) For the purpose of this section of the Design Guidelines:
 - i) **Patios** are considered horizontal hard walking surfaces installed directly over the finished grade. Patios are typically constructed of concrete, concrete unit pavers, stone pavers, brick pavers, tile, or flagstone.
 - ii) **Decks** are considered horizontal hard walking surfaces that are typically constructed with horizontal planks or boards that are installed over a framing system that is set slightly above the finished grade. The horizontal planks and boards are typically composite materials or wood decking.

Location.

- d) Patios may not extend beyond the rear property line and into the Lagoon Zone.
- e) Decks, patios and/or hard walking surfaces may not encroach into the existing Bio-Swailes located at the waterward corners of each lot.
- f) Decks, patios and/or hard walking surfaces that are higher than eighteen inches (18") above the primary finished floor level of the main Residence must be fully located within the established Building Setbacks for the Lot. In general, raised decks and patios are not allowed.

Materials and Colors.

- g) Decks and patios in the Rear Yard Zone shall be constructed of durable, high-quality, and low-maintenance materials.
- h) **Patio Materials:** Patios may be constructed of concrete, stamped concrete, concrete unit pavers, stone pavers, brick pavers, tile, flagstone, "Kool Deck", gravel, or combination thereof.
- i) **Deck Materials:** Decks may be constructed of:
 - i) Hardwoods (such as Redwood, Cedar, Ipe or Indian Teak) treated with a penetrating sealer, matte finish stain, or marine grade paint.
 - ii) Composite Decking (such a Fiberon®, TimberTech AZEK®, or Trex®).
 - iii) Prohibited deck surface materials include: artificial turf, outdoor carpeting, or other deck surface materials deemed inappropriate by the DRC in its sole discretion.
- j) **Colors:** The color of the deck and patio materials shall be subtle and neutral tones that complement the color palette of the home; such as browns, tans, grays and charcoals.

Decks and Patios located within the 5’ Levee Access and Maintenance Area (LAMA) for Perimeter Levee Lots. (This criteria applies only to **Perimeter Levee Lots** as identified in Section 3.1(a) of these Design Guidelines.)

- k) Any portion of a deck, patio, walkway, or other hard walking surface that is located within the 5’ Levee Access and Maintenance Area (LAMA) is subject to BIMID conditions and restrictions. (*Refer to Section 3.8 of these Design Guidelines for further explanation.*)
- l) Decks that are located within the 5’ Levee Access and Maintenance Area (LAMA) should consider using hinged deck panels, removable panels, and/or removable components that can be easily removed and replaced in segments to facilitate levee inspections and repairs by BIMID.
- m) Poured-in-place concrete patios are discouraged within the 5’ Levee Access and Maintenance Area (LAMA) due to the difficulty to remove the concrete; whereas, concrete unit pavers, bricks, and stepping stones that are set on a sand base can be removed and replaced, if necessary.
- n) **Property owners are advised that any costs associated with any removal, repair and/or replacement of any deck, patio, walking surface, or other improvements located within the 5’ Levee Access and Maintenance Area (LAMA) as required by BIMID are at the sole expense of the property owner.**
 - Refer to Section 3.1 for the definition of the “Perimeter Levee Lots” and “Peninsula Lots”.
 - Refer to Section 3.8 for “5’ Levee Access and Maintenance Area (LAMA)”.
 - Refer to Section 4.71 for “Roof Decks, Roof Terraces, Verandas, and Upper Level Outdoor Living Areas”.
 - Refer to Section 5.7 for “Bio-Swales”.
 - Refer to Section 7 for “Design Standard for Decks in the Deck Easement in the Lagoon Zone”.

REFERENCE:
*To determine if your lot is a **Perimeter Levee Lot** or a **Peninsula Lot**, refer to the list in Section 3.1 of these Design Guidelines.*

4.22. Docks. (refer to Section 8 of these Design Guidelines)

Reference
Refer to Section 8 of these Design Guidelines for
Design Standards for Docks and Dock-Related Improvements.

4.23. Dog Runs and Kennels. Refer to Section 4.60 for “Pet Enclosures, Kennels, and Dog Runs”.

4.24. Doors (Exterior).

- a) Modifications, additions, repainting, or replacement of an exterior door requires approval from the DRC prior to installation or modification.
- b) The style, pattern, appearance, materials, colors and details of an exterior door shall match the character and architectural style of the home.
- c) Designs, patterns, styles, or colors for exterior doors that are deemed by the DRC to be overly ornate, contemporary, bold, dramatic, or not appropriate for the architectural style of the home will not be approved.
- d) Exterior doors are to be recessed a minimum of three inches (3”), where possible.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- e) Exterior doors shall be constructed of durable and low-maintenance materials. Exterior doors shall be painted metal, fiberglass, painted or stained woods, or wood clad in maintenance free metals such as copper, or steel with baked enamel finish.
- f) The color of an exterior door, including the frame and trim, shall complement the color palette of the home.
- g) Colored glass is not allowed within a Front Door or other exterior doors that are visible from the street.
 - Refer to Section 4.39 for "*Garage Doors*".
 - Refer to Section 4.40 for "*Gates*".
 - Refer to Section 4.80 for "*Security Doors and Screen Doors*".

4.25. Drainage.

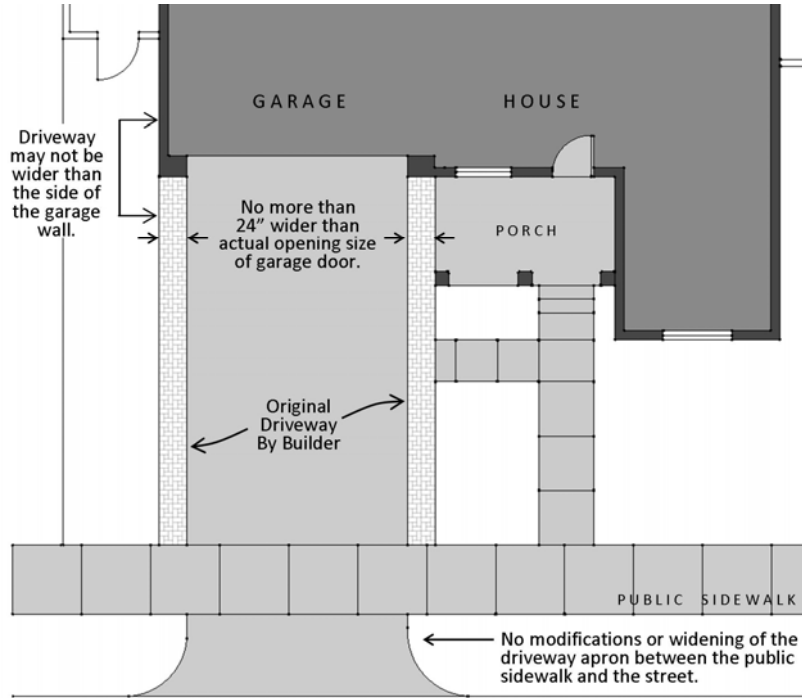
- a) The drainage patterns established by the Original Homebuilder and approved by the County shall be maintained. The obstruction, alteration or re-channeling of drainage flows from the initial location of drainage patterns, drainage swales, storm sewers or storm drains that were installed as part of the Original Construction are not permitted.
- b) The addition or modification of any walls, structures, fences, grading and landscaping must be designed to accommodate the approved Lot drainage. Drainage may not be modified to cause storm water to flow onto neighboring residential properties.
- c) Bio-Swales are permitted (and at times required) to slow and filter stormwater subject to approval by the DRC.
- d) In general, drainage and stormwater runoff in the Rear Yard Zone, including drainage from gutters, downspouts and area drains, shall be directed into the Bio-Swales so that urban contaminants in the stormwater runoff from roofs, patios and yard areas can be naturally filtered by the Bio-Swales before being discharged into the Lagoon. Each Owner must retain and maintain the existing Bio-Swales in order to continue the function of the Bio-Swales as required by the Master Drainage Plan for Delta Coves. An Owner may not cause modifications to the Bio-Swales that modify its size, function, engineering, purpose, or capacity. Refer to Section 5.7 of these Design Guidelines for additional design criteria regarding the Bio-Swales.
 - Refer to Section 3.11 for "*Storm Drain Easements (SDE)*".
 - Refer to Section 5.7 for "*Bio-Swales*".
 - Refer to Section 5.32 for "*Rip-Rap and Erosion Control in the Front Yard Zone*".

4.26. Driveways. All driveways shall comply with the following criteria, unless approved otherwise by the DRC.

- a) Any modifications, changes, alterations, expansions, or replacement to a driveway requires approval of the DRC prior to construction.
- b) Driveways and auto-courts are encouraged to be creatively designed and softened with plantings, so they take on the appearance of courtyards and gardens rather than purely functional hardscape. The use of pervious materials is strongly encouraged.
- c) Expanding or widening of an existing driveway shall not extend the width of the pavement more than two feet (2'-0") beyond either side of the actual garage door opening, nor shall the width of the driveway pavement extend beyond the side face of the garage structure (whichever is the most restrictive), unless specifically approved otherwise by the DRC.
- d) Driveway aprons may not be expanded or widened in the Neighborhood Street Frontage Zone between the street and public sidewalk.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- e) In general, driveways must be located at least five feet (5'-0") from an electrical transformer.
- f) In general, driveways shall intersect the street at a 90-degree angle.
- g) Each Lot will only be allowed to have one (1) driveway access point to the street. Circle driveways or pull-through driveways are not permitted.
- h) Driveway pullouts or widening of driveways for additional parking in the Front Yard Zone or to create access to rear yards or side yards are prohibited, unless specifically approved otherwise by the DRC.



- i) The following paving materials are generally acceptable for driveways, subject to approval by the DRC:
 - i) Poured concrete in warm earth tones or light gray colors. Subtle textures and banding are encouraged to create a more attractive driveway surface. Exposed aggregate and acid-washed concrete finishes are allowed and encouraged.
 - ii) Hollywood driveways.
 - iii) Sand-set natural stone as an accent material or edging, combined with gravel or decomposed granite areas within the perimeter stone edging.
 - iv) Brick pavers.
 - v) Concrete unit pavers.
 - vi) Semi-transparent concrete stains with matte finishes in warm brown, tan, and light gray colors.
 - vii) Other paving materials, as specifically approved by the DRC on a case-by-case basis.
- j) The following materials are not allowed for driveways:
 - i) Asphalt.
 - ii) Painted finishes, opaque stains, acrylic coatings, epoxy coatings, tile, pebblestone, asphalt coatings, faux finishes or patterns, or other "coating-type" materials, unless specifically approved otherwise by the DRC.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- iii) Earth, turf and other unimproved driveway surfaces.
 - iv) Decomposed granite, gravel, or rock (except for small accent bands).
 - v) Glossy, shiny, or reflective coatings or sealers.
 - vi) Any material, color, texture or finish that is bold, dramatic, highly-colorful or otherwise deemed to be inappropriate in the sole discretion of the DRC.
- k) Paving materials with SRI (Solar Reflectance Index) greater than twenty-nine (29) are encouraged. These materials are cooler and helps reduce the heat island effects.
- l) Vehicles may only be parked on paved surfaces. Parking of vehicles on grass, earth, or other non-paved surfaces is prohibited.
- m) The maintenance of all driveway surfaces, including the driveway apron between the public sidewalk and the street, is the responsibility of the Owner.
- Refer to Section 4.38 for "Garages".
 - Refer to Section 4.55 for "Parking".
 - Refer to the "Delta Coves Vehicle Operation and Parking Policy" at www.deltacovesresidents.com.
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.27. Driveway Gates.

- a) Vehicular gates and private driveway gates for residential driveways are not allowed, unless specifically approved otherwise by the DRC.
- b) In a few rare cases, the DRC may consider allowing a private driveway gate for residential properties with a driveway that is longer than thirty-five feet (35'-0") in length, as measured from the back of the public sidewalk to the face of the garage. In such rare cases, the DRC reserves all rights to create specific design criteria for such driveway gate, including, but not limited to: location, setbacks, height, width, function, operation, materials, pattern, materials, colors and appearance, as determined in the sole discretion of the DRC on a case-by-case basis.

4.28. Exterior Hardware, Utility Boxes and Accessories.

- a) Electrical meters, gas meters, telephone/data connection boxes, landscape lighting controllers, and irrigation controllers shall be concealed by walls or fences with hedges used to soften walls and fences. The appearance of the walls or fences shall be compatible with the design of the home, and may consist of fencing, site walls and building walls to entirely screen such areas from Public View and neighboring residential lots. Hedges may be used to soften walls and fences but may not replace such elements as screening devices.
 - b) Unless specifically approved otherwise, whether for functional or aesthetic purposes, exposed elements such as flues, vents, louvers, flashing, chimney caps, utility boxes, electrical panels, gas meters, irrigation control boxes, disconnect switch boxes, j-box covers, clean out covers, access panels, lighting control boxes, and mechanical equipment must match the color of the surface to which they are attached.
 - c) Conduits, cables, piping, and similar elements shall be either concealed within the structure of the walls; or shall be located behind a Yard Fence. Exposed conduits, cables, piping, and similar elements shall be painted to match the color of the surface to which they are attached. Exposed conduits, cables, piping and similar elements may not be visible from Public View.
- Refer to Section 4.5 for "Air Conditioning and HVAC Equipment".

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.29. Fences and Site Walls - Front Yard Zone. Low-scale fences, yard walls, courtyard walls, and site walls may be allowed in the Front Yard Zone when approved by the DRC and subject to compliance with the following design criteria.

- a) Locations:
 - i) Low-scale fences or site walls may be constructed in the Front Yard Zone provided that the fences or site walls (including any associated footings) are setback a minimum of five feet (5'-0") from the front property line and the back of the public sidewalk.
 - ii) Fences and site walls are not allowed in the existing Public Utilities Easement (P.U.E.).
 - iii) Fences and site walls are not allowed in the Neighborhood Street Frontage Zone.
 - iv) Low-scale fences or site walls may return along the side property lines in the Front Yard Zone. If an Owner desires to install a fence or site wall that is located on a common property line, the Owner shall obtain and provide written approval from the neighboring owner(s). Each Owner is responsible for the maintenance of their respective side of a fence or site wall that is located on a common property line, unless otherwise determined by the DRC or DCMC.
 - v) Fences and site walls in the Front Yard Zone shall be softened with vines or vegetation to provide a minimum of 50% coverage of the fence or site wall.
- b) Heights:
 - i) The maximum height of a fence or site wall in the Front Yard Zone is forty-two inches (42") tall as measured above the adjacent finished grade.
 - ii) Fencing and site walls on corner lots shall be consistent with the Site Obstruction rules in County Zoning Ordinance 82-18.002.
- c) Appearance:
 - i) The style and appearance of the fences or site walls in the Front Yard Zone shall relate to and/or complement the architectural style and the color and material palette of the existing home, as determined in the sole discretion of the DRC.
 - ii) Fences and site walls shall be constructed of quality, durable and relatively low-maintenance materials.
 - iii) Approved materials for Fences and Site Walls in the Front Yard Zone include:
 - Hardwood (Ipe or Indian Teak).
 - Traditional picket fences (redwood, cedar or vinyl).
 - Cedar Grape-stake.
 - Cor-ten steel.
 - Metal with a powder coat paint finish.
 - Board-form concrete.
 - Stucco finish over concrete masonry.
 - Stained wood shingle with a metal cap.
 - Metal mesh.
 - Other materials and appearances deemed acceptable on a case-by-case basis by the DRC.
 - iv) Prohibited materials for Fences and Site Walls in the Front Yard Zone include:
 - Chain link (galvanized and vinyl covered).
 - Ornamental wrought iron (picket style).
 - Plastic.
 - Glass.
 - Wood, other than hardwood, redwood or cedar.
 - Exposed standard concrete masonry units (concrete blocks).

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- Gravity blocks, “keystone retaining walls”, and other stackable interlocking masonry units.
- Other materials and appearances deemed inappropriate in the sole discretion of the DRC.
- Refer to Section 4.30 for “*Fences and Yard Walls – Rear Yard Zone*”.
- Refer to Section 4.35 for “*Front Courtyards*”.
- Refer to Section 4.40 for “*Gates (Low-Scale Gates)*”.
- Refer to Section 4.41 for “*Gates (Yard Gates and Service Gates)*”.
- Refer to Section 5.2 for “*Residential Landscape Zones*”.
- Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.30. Fences and Yard Walls – Rear Yard Zone. Privacy fences, yard fences, yard walls and site walls in the Rear Yard Zone (including the side yard conditions) shall comply with the following design criteria:

- a) Locations:
 - i) Privacy fences and yard walls are required to be entirely located within or directly on the property lines of the Lot.
 - ii) Fences and yard walls are not allowed in the Lagoon Zone. Fences and yard walls along a waterfront property line must be constructed within the boundaries of the Lot; and may not negatively impact the rock slope of the Lagoon.
 - iii) Privacy fences and yard walls in the side yard portions of the Rear Yard Zone shall generally follow the side property line and shall typically end or return to the building at an appropriate location that is a minimum of five feet (5’-0”) behind the front façade of the building.
- b) Heights:
 - i) The maximum height of privacy fences and yard walls in the side yard areas of the Rear Yard Zone shall not exceed six feet (6’-0”) tall as measured above the adjacent finished grade, except as noted below.
 - ii) Privacy fences and yard walls shall be a maximum of forty-two inches (42”) in height as measured above the adjacent finished grade when installed within ten feet (10’-0”) from a waterfront property line or such fences and yard walls shall align with the waterfront facade of the house, whichever dimension is smaller.
 - iii) Privacy fences and walls may either slope with the grade or adjust as a vertical offset between panels. Vertical offsets shall not exceed twelve inches (12”) in height.
- c) Appearance:
 - i) Privacy fences and yard walls shall have an attractive finished appearance on both sides.
 - ii) Fences and yard walls shall be constructed of quality, durable and relatively low-maintenance materials.
 - iii) Approved materials for fences and yard walls in the Rear Yard Zone include:
 - Hardwood (Ipe or Indian Teak).
 - Redwood or cedar.
 - Vinyl fence systems (with proper UV inhibitor).
 - Cedar grape-stake.
 - Cor-ten steel.
 - Metal with a powder coat paint finish.
 - Board-form concrete.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- Stucco finish over concrete masonry.
 - Stained wood shingle with a metal cap.
 - Metal mesh.
 - Welded wire mesh with metal or wood frame.
 - Clear glass or clear polycarbonate (*ONLY for locations along a waterfront property line*).
 - Cable railings (*ONLY for locations along a waterfront property line*).
 - Other materials and appearance deemed acceptable on a case-by-case basis by the DRC.
- iv) Prohibited materials for fences and yard walls in the Rear Yard Zone include:
- Chain link (galvanized and vinyl covered).
 - Ornamental wrought iron (picket style).
 - Plastic.
 - Colored, frosted or patterned glass.
 - Rolled bamboo fencing.
 - Wood, other than hardwood, redwood or cedar.
 - Gravity blocks, “keystone retaining walls”, and other stackable interlocking masonry units.
 - Other materials and appearances deemed inappropriate in the discretion of the DRC.
- d) The use of vines to cover yard walls and fences is encouraged where they add to the appearance and do not create excessive growth lending to an unkempt appearance. Vines shall not be allowed to overhang onto another property at a side yard condition. Refer to Appendix D for the Approved Plant List.
- e) If the inside face of a fence or yard wall is visible from Public View (including potential views from the Lagoon), the inside face of the fence or yard wall may not include: bold colors, bright colors, dramatic colors, contrasting colors, murals, signage, graphics, graffiti, artwork or similar. The objective is that the appearance of fences and yard walls that are visible from adjacent properties are subtle, neutral, and have the least visual impact possible.
- f) If an Owner desires to modify the height, type, or location of a fence or yard wall that is located on a common property line, the Owner shall obtain and provide written approval from the affected neighboring owner(s).
- g) Each Owner is responsible for the care and maintenance of their side of a fence or yard wall that is located on a shared common property line between residential properties, unless otherwise determined by the DRC or the DCMC.
- h) An Owner is responsible for the care and maintenance of both sides of a fence or yard wall located along a waterfront property line or adjacent to any Common Area or open space.
- i) In general, nothing may be physically or structurally connected or attached to fence or yard wall located on a common property line that could weaken the integrity of the fence or yard wall; or cause the fence or yard wall to crack, break, lean, collapse, degrade, or weaken.
- j) Earth, soil, gravel and rocks are not allowed to retain against any fence or yard wall located on a common property line unless such wall is specifically designed, engineered, waterproofed and constructed as a structural retaining wall.
- k) The addition or modification to a fence or yard wall may not impede or alter the flow of drainage as designed as part of the Original Construction and original subdivision engineering.
- l) If damage is caused to a fence or yard wall on a common property line with an adjacent residential property, the party that causes the damage shall be responsible to repair, replace or restore the fence or yard wall at the sole cost and expense of the party causing the damage.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- m) Fences, yard walls, site walls, retaining walls and similar elements are subject to removal at the sole cost of the Owner if located within the 5' Levee Access and Maintenance Area (LAMA) for all Perimeter Levee Lots identified in Section 3.1(a) of these Design Guidelines. *(refer to Section 3.8 of these Design Guidelines for additional explanation of the 5' Levee Access and Maintenance Area (LAMA))*
- Refer to Section 3.8 for "*5' Levee Access and Maintenance Area (LAMA)*".
 - Refer to Section 4.29 for "*Fences and Site Walls – Front Yard Zone*".
 - Refer to Section 4.41 for "*Gates (Yard Gates and Service Gates)*".
 - Refer to Section 5.2 for "*Residential Landscape Zones*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.31. Finished Grade / Finished Graded Pad.

- a) The Lots were developed with specifically-engineered finished graded pads, site grading, and drainage at the time of the Original Construction. The Lots and the finished graded pads were also constructed to comply with comprehensive drainage plans and approvals by the County. In general, the grade and elevation of the finished graded pad should not be modified, except for minor landscape grading, as allowed by Section 5.23 of these Design Guidelines.
- b) Modifications to the grade may not result in earth or soil that retains against a fence or yard wall located on a common property line. Any modifications to the grade must return to match the original finished graded pad at the property lines. Modifications to the grade may not cause drainage, siltation, and erosion onto adjacent properties; nor cause siltation and erosion into or onto the Lagoon, adjacent streets, or public sidewalks.
- c) Modifications to the elevation of the original finished graded pad may not be used to gain additional building height for any Residence, Addition, Accessory Structure, Shade Structure, or other improvement.
- Refer to Section 4.25 for "*Drainage*".
 - Refer to Section 5.23 for "*Landscape Grading*".

4.32. Fireplaces, Fire Pits and Other Outdoor Fire Elements. Outdoor fireplaces, fire pits, fire features, fire bowls, fire woks, fire tables, chimenea, torches, or other similar fire and flame elements may be allowed when approved by the DRC and subject compliance with the following design criteria:

- a) All fire elements must be located within: the Rear Yard Zone; or within an enclosed front entry courtyard that is surrounded by privacy walls and/or courtyard walls; or on a Deck in the Lagoon Zone.
- b) Fire elements are not allowed in the open portions of the Front Yard Zone or on a Front Porch.
- c) Fire elements on a Dock in the Lagoon Zone are generally discouraged, but small-scale portable fire elements on a Dock will be evaluated by the DRC on a case-by-case basis. Only portable fuel sources are allowed for fire elements on a Dock.
- d) All fire elements of any type shall be located a minimum of five feet (5'-0') from any side yard property line. For clarity, the setback dimension noted above is measured to the face of the overall structure around the fire feature; and not the dimension to the actual flame. Fire elements have a zero foot (0'-0") setback requirement from a waterfront property line.
- e) The overall height of any outdoor fire element located between the waterward façade of the home and the Lagoon may not exceed forty-two (42") tall as measured above the adjacent finished grade. Typically, fire pits and fire tables work best in this portion of the Rear Yard Zone.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- f) If located in the side yard portion of the Rear Yard Zone, a freestanding outdoor fireplace shall be proportional in size to the surrounding elements, and shall not exceed a height of six feet (6'-0") above the primary finished floor elevation of the Residence, unless specifically approved otherwise by the DRC. The DRC may allow taller chimneys for an outdoor fireplace located in a side yard area on a case-by-case basis.
- g) All fire elements must be designed to complement and integrate with the design of the building, terraces and landscape composition. Any fire feature shall use the same materials, colors, and details on all four (4) sides of the improvement to ensure that the back side (which may be visible from the Lagoon or from an adjacent property) has the same appearance as the other faces of the improvement.
- h) Use of open log fires or wood fires in fire pits and outdoor fireplaces is prohibited.
- i) Fuel storage tanks (if any) must comply with the design criteria in Section 4.93 for "*Storage Tanks*".
- j) Outdoor fire elements shall comply with all applicable ordinances, codes, permitting requirements, and governmental regulations, including but not limited to environmental and air quality regulations.
- k) Outdoor fire elements are subject to removal at the sole cost of the Owner if located within the 5' Levee Access and Maintenance Area (LAMA) for all Perimeter Levee Lots identified in Section 3.1(a) of these Design Guidelines. (*refer to Section 3.8 of these Design Guidelines for additional explanation of the LAMA.*)
- Refer to Section 3.8 for "*5' Levee Access and Maintenance Area (LAMA)*".
 - Refer to Section 4.12 for "*Barbeques and Outdoor Cooking Equipment*".
 - Refer to Section 4.56 for "*Patio Heaters*".
 - Refer to Section 4.93 for "*Storage Tanks*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- 4.33. Flags and Flagpoles.** Flags and flag poles, including temporary, permanent, building-mounted, and free-standing may be allowed when approved by the DRC and subject to compliance with the following design criteria:
- a) No permanent flagpole or flag shall be installed on any Lot or within the associated Lagoon Zone without prior approval of the DRC.
 - b) **Free-Standing Flag Poles:**
 - i) A maximum of one (1) free-standing flag pole is allowed per property, regardless of location, including on a Dock.
 - ii) A free-standing flagpole shall be limited to a maximum height of twenty feet (20'-0") as measured above the adjacent finished grade or Dock.
 - iii) A free-standing flagpole shall be located a minimum of five feet (5'-0") from any front or side property line.
 - iv) A free-standing flagpole shall be located a minimum of five feet (5'-0") from any public sidewalk.
 - v) A free-standing flagpole is not allowed to be located within a Public Utility Easement (PUE).
 - vi) A free-standing flagpole may be allowed on a Deck in the Lagoon Zone when approved by the DRC, provided that the flagpole is structurally anchored to the Deck; and the flagpole is not anchored to the riprap bank of the Lagoon.
 - vii) A free-standing flagpole may be allowed on a Dock in the Lagoon Zone when approved by the DRC.
 - viii) The color of the free-standing flagpole shall be black, bronze, dark gray, white or satin aluminum.
 - ix) The operational and securing system that attaches the flag to the flagpole may not cause noise. External halyard systems are not allowed for a flagpole.
 - x) Any excavation for a flagpole in the 5' Levee Access and Maintenance Area (LAMA) must comply with requirements of BIMID to ensure that no negative impact occurs to the levee.
 - c) **Building-Mounted Flags:**
 - i) Building-mounted flags, soffit-mounted flags, or wall-mounted flags may be allowed subject to approval by the DRC subject to the following design criteria.
 - ii) The top of the flag shall not extend above the adjacent eave line of the roof.
 - d) **Quantity of Flags and Flag Poles:**
 - i) A maximum of one (1) free-standing flag pole is allowed per property, regardless of location, including on a Dock.
 - ii) A maximum of one (1) free-standing flag pole or one (1) building-mounted flag is allowed in the Front Yard Zone (one or the other).
 - iii) A maximum of one (1) free-standing flag pole or one (1) building-mounted flag is allowed in either the Rear Yard Zone or on a Dock (one type or the other; and one location or the other).
 - iv) A maximum of two (2) flags are allowed per free-standing flag pole.
 - v) A maximum of one (1) flag is allowed per building-mounted flag location.
 - e) **Flags:**
 - i) The maximum size of any flag shall not exceed four feet by six feet (4'x6').
 - ii) The USA flag must be flown in accordance with the Federal Flag Code.
 - iii) Seasonal, holiday, and event flags are allowed during the time of the relevant season or event.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- iv) All flags shall be maintained in good condition at all times. Faded, frayed, or tattered flags are not allowed.
- v) The DRC reserves the right to restrict or prohibit decorative flags (such as sports teams, clubs, etc.) that are not protected by law, including reasons such as content, subject matter, height, color, size, or reflectivity.
- f) **Lighting:** Any lighting of a flag shall comply with the requirements for Outdoor Lighting, as outlined in Section 6 of these Guidelines.
- g) **5' Levee Access and Maintenance Area (LAMA):** Flagpoles are subject to removal at the sole cost of the Owner if located within the 5' Levee Access and Maintenance Area (LAMA) for all Perimeter Levee Lots identified in Section 3.1(a) of these Design Guidelines. (*refer to Section 3.8 of these Design Guidelines for additional explanation of the 5' Levee Access and Maintenance Area (LAMA).*)
 - Refer to Section 3.8 for "*5' Levee Access and Maintenance Area (LAMA)*".
 - Refer to Section 4.9 for "*Art, Artwork, Sculpture and Ornamentation (Exterior)*".
 - Refer to Section 4.48 for "*Holiday Lights and Holiday Decorations (Temporary)*".
 - Refer to Section 6 for "*Outdoor Lighting Standards*".
 - Refer to Section 7.13 for "*Prohibited Dock Improvements*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.34. Fountains. Refer to Section 4.102 for "*Water Features*".

4.35. Front Courtyards. For the purpose of these Design Guidelines, a Front Courtyard is considered an uncovered patio, sitting area, or other outdoor living space that is located in the Front Yard Zone and is surrounded by low walls, fences and/or gates. A Front Courtyard may be allowed when approved by the DRC and subject to compliance with the following design criteria:

- a) Front Courtyards, including, but not limited to, the low courtyard walls, fences, gates, walking surfaces, and amenities shall integrate with the architectural composition and style of the home, as well as the landscape composition of the Front Yard Zone.
- b) Free-standing patios without low courtyard walls or fences are not allowed in the Front Yard Zone. To qualify as a Front Courtyard, the patios or sitting areas must be surrounded by low walls and fences.
- c) Low courtyard walls, fences and gates around a Front Courtyard shall be a minimum of twenty inches (20") in height and shall not exceed forty-two (42") in height, as measured above the adjacent finished grade.
- d) Low courtyard walls, fences and gates including any associated footings shall be located a minimum of five feet (5'-0") from the public sidewalk.
- e) A Front Courtyard, including low walls, fences, gates and patios, is not allowed to encroach into the Public Utilities Easement (P.U.E.) on any Lot.



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- f) Low courtyard walls and fencing on a Corner Lot shall be consistent with the site obstruction rules in County Zoning Ordinance 82-18.002.
- g) Front Courtyard walls and fences must be finished to match the existing home.
- h) The addition of shade structures, overhead trellises, shade sails, or other permanent shading elements (other than trees) is not permitted for any Front Courtyard, unless otherwise approved by the DRC. If shade is desired for a Front Courtyard, the DRC recommends the use an appropriate species of shade tree.
- i) Quality outdoor furniture, planters and similar furnishings are encouraged in a Front Courtyard. Furniture placed in a Front Courtyard must be manufactured for outdoor use and must be kept in a neat and well-maintained appearance at all times.
- j) Front Courtyards shall be maintained in an attractive, clean and well-maintained manner and shall not appear cluttered. Picnic tables, barbeque grills, outdoor cooking equipment, and related items are not allowed in the Front Courtyard. Play equipment (such as swings, slides, trampolines and the like) are not allowed in a Front Courtyard. The general storage of recreational equipment (such as bicycles, basketball hoops, kayaks, paddleboards, and other recreational equipment) is not permitted in a Front Courtyard.
 - Refer to Section 3.10 for "*Public Utilities Easement (PUE)*".
 - Refer to Section 4.29 for "*Fences and Site Walls – Front Yard Zone*".
 - Refer to Section 4.36 for "*Front Porches, Covered Front Entries, and Front Balconies*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.36. Front Porches, Covered Front Entries, and Front Balconies.

- a) A key design feature of many of the homes at Delta Coves is the Front Porch, which is an important expression of the architectural style and provides an outdoor living space focused toward the Community. For the purpose of these Design Guidelines, a Front Porch is considered to have an integrated architectural roof over the outdoor sitting area. Any addition, modifications, improvements or accessories related to the Front Porch or front balcony shall comply with the following design criteria.
- b) Conversion of any Front Porch, covered front entry, or front balcony to an enclosed space, partially-enclosed space, or finished space for use as livable space, screened porch, or part of the internal living area for any Residence is not allowed. The enclosure or partial enclosure of a front porch, covered front entry, or front balcony with screens, windows, bars, decorative metal, panels, or other materials is not allowed. The objective is that a Front Porch, covered front entry, and front balcony remain as welcoming open outdoor living and arrival spaces that are focused toward the street and the Community.



All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- c) Low-scale railings may be added to a Front Porch if approved by the DRC and provided that the appearance of the railing matches the architectural style and character of the home. Overly complicated decoration as part of a railing which detracts from the overall composition shall be avoided, and may be denied in the discretion of the DRC. Railings shall be constructed of durable and low maintenance materials. The height of the railing at a Front Porch or front balcony may not exceed thirty-six inches (36") tall as measured above the walking surface of the Front Porch or front balcony.
 - d) The horizontal walking surface of a Front Porch, covered front entry, or front balcony may be modified from the Original Construction if approved by the DRC and subject to compliance with the following design criteria. Pavers, decking, tile, flagstone, travertine, and some coatings materials are allowed on the horizontal walking surface of a Front Porch, covered front entry or front balcony, provided that the colors and materials match the architectural style and color palette of the home. The DRC will not allow the use of materials that it deems inappropriate for a Front Porch, covered front entry, or front balcony such as: kooldeck, carpet, vinyl, artificial turf, and certain coating materials. Bright colors, bold colors, and dramatic patterns may not be used on the horizontal walking surface of a Front Porch, covered front entry, or front balcony.
 - e) Outdoor furniture, swings, rockers, potted plants, and similar porch-like furnishings are encouraged. Furniture placed on Front Porches or front balconies must be manufactured for outdoor use and must be kept in a neat and well-maintained appearance at all times.
 - f) Front Porches, covered front entries, and front balconies shall be maintained in an attractive, clean, and well-maintained manner at all times. Front Porches, covered front entries, and front balconies may not appear to be overly cluttered. General storage, including but not limited to the storage of bicycles, recreation equipment, play equipment, clothes drying lines, and barbecue grills, is not allowed on a Front Porch, covered front entry, or front balcony.
 - g) Exterior roll-down sunscreens, roller shades, exterior curtains, retractable awnings, or similar elements are not allowed on any Front Porch, covered front entry or front balcony.
 - Refer to Section 4.35 for "*Front Courtyards*".
- 4.37. Furniture (Outdoor).** Portable outdoor furniture and accessories that are visible from Public View do not require specific approval of the DRC, but shall comply with the following design criteria:
- a) Outdoor furniture must be manufactured and intended for outdoor use.
 - b) Outdoor furniture should have the style, quality, proportions and character that complement the home.
 - c) Outdoor furniture is not permitted in the middle of the front yard. Within the Front Yard Zone, outdoor furniture should be located on the Front Porch or within a defined Front Courtyard.
 - d) In general, the color of outdoor furniture should be subtle and should complement the color palette of the home.
 - e) Outdoor furniture must be kept in a neat and well-maintained appearance at all times.
 - f) The DRC reserves the right to not allow outdoor furniture that it believes, in its sole opinion, does not comply with these criteria.

4.38. Garages.

- a) Each Residence shall maintain a functioning garage with an operable garage door capable of storing a minimum of two (2) standard full-size passenger vehicles, unless otherwise approved by the Master Developer for the benefit of the Original Homebuilder as part of the Original Construction.
- b) Conversion of any garage (or portion thereof) to a finished space used as livable spaces, such as an apartment, guesthouse or other integral part of the living area of the Residence is not permitted, unless the criteria in Section 4.38(a) can be maintained.
- c) Due to the size of the Lots, it is unlikely that garage expansions, additional garage space, or additional garage bays can be added to an existing Residence. The DRC reserves all rights to not allow the addition of garage space to an existing home if, in the sole discretion of the DRC, the proposed garage addition:
 - i) Does not comply with the technical aspects as well as the spirit and intent of these Design Guidelines.
 - ii) Results in a garage that is visually dominant.
 - iii) Results in a garage that is closer to the street than the garage that was built as part of the Original Construction.
 - iv) Does not comply with the Setbacks in Section 3.12 of these Design Guidelines.
 - v) Results in the creation of a driveway that is deemed to be too small, too large, or visually dominant.
 - vi) Results in scale, proportion, massing, form, and/or composition that does not complement the architecture of the home.
- d) Refer to Section 4.55 for additional criteria for "Parking".
- e) Refer the "Delta Coves Vehicle Operation and Parking Policy" at www.deltacovesresidents.com.
 - Refer to Section 3.12 for "Setbacks".
 - Refer to Section 4.3 for "Additions (Attached)".
 - Refer to Section 4.26 for "Driveways".
 - Refer to Section 4.39 for "Garage Doors".
 - Refer to Section 4.55 for "Parking".
 - Refer to the "Delta Coves Vehicle Operation and Parking Policy" at www.deltacovesresidents.com.

4.39. Garage Doors.

- a) Any modifications, repainting or replacement of a garage door requires approval from the DRC prior to installation or modification.
- b) The size of a garage door may not exceed eight feet (8'-0") in height and eighteen feet (18'-0") in width.
- c) The style, pattern, and appearance of a Garage Door shall be compatible and appropriate for the architectural style of the Residence, including panel design and window design (if any). Designs for garage doors that are deemed by the DRC to be inappropriate for the architectural style will not be approved.
- d) Windows in garage doors are limited to the uppermost garage door panel, and the total surface area of glass in a garage door may not exceed fifteen percent (15%) of the surface area of the garage door. Garage doors that are primarily glass or glass panels are not allowed. Window grids on the windows of a garage door shall match the architectural style of the home.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- e) The color of the garage door shall complement the color palette of the Residence. Bold, bright, shiny, or reflective materials should not be used for a garage door. Colors for garage doors that are deemed by the DRC to be inappropriate will not be approved.
- f) Garage doors must be maintained in an attractive and functioning manner. Garage doors that are bent, broken, dented, inoperable, or otherwise unsightly must be repaired or replaced in a timely manner.
- g) In general, garage doors shall be in the closed position when the garage is not actively in use.
 - Refer to Section 4.38 for "*Garages*".

4.40. Gates (Low-Scale Gates at a Front Courtyard or along a Waterfront Property Line).

- a) In general, pedestrian gates located at a front courtyard or along a waterfront property line shall not exceed forty-two inches (42") in height as measured above the adjacent finished grade or paving, unless specifically approved otherwise by the DRC.
- b) The appearance of a pedestrian gate shall complement the architectural style and materials of the home, including colors, materials, patterns and appearance. Animal, plant, character, symbols, numbers, letters, pictorial graphics, logos, or other graphic depictions are not allowed on a decorative pedestrian gate.
- c) Gates shall be constructed of durable and low-maintenance materials.
- d) Due to the various styles of decorative gates, the DRC will review gate designs on a case-by-case basis. The DRC reserves the right to not allow a decorative gate that is deemed to be inappropriate in the sole discretion of the DRC.
 - Refer to Section 4.27 for "*Driveway Gates*".
 - Refer to Section 4.41 for "*Gates (Yard Gates and Service Gates)*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.41. Gates (Yard Gates and Service Gates).

- a) The addition and/or modification to a yard gate or service gate that provides access to a side yard or a rear yard must be approved by the DRC prior to installation or modification.
- b) For the purpose of these Design Guidelines, a yard gate or service gate is considered a gate that is located on the side of home; and is located behind the front façade of the home; and is located inward from the rear façade of the home.
- c) The overall width of a yard gate or service gate shall not exceed an opening of forty-eight (48") wide. Double gates, vehicular gates, or any gate opening wider than four feet (4'-0") are prohibited on any Lot, unless otherwise approved by the DRC.
- d) In general, the height of a yard gate or service gate shall be the same height as the yard wall or yard fence on either side of the gate. The height of a yard gate or service gate shall not exceed six feet (6'-0") in height.
- e) A yard gate or service gate shall be setback a minimum of five feet (5'-0") from the adjacent front-facing façade of the home. A yard gate or service gate may be flush with or inward from the adjacent rear façade of the home, but the gate may not be located closer to the Lagoon than the adjacent façade of the home.
- f) Yard gates and service gates shall be solid as to screen views into the private yard areas and/or to screen equipment that is located behind the gates.
- g) Yard gates or service gates shall be constructed of durable and relatively low-maintenance materials.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- h) The appearance and color of a yard gate or service gate shall match the appearance and colors of the adjacent Yard Fence or shall complement the architectural character of the Residence.
- Refer to Section 4.27 for "*Driveway Gates*".
 - Refer to Section 4.40 for "*Gates (Low-Scale Gates at Front Courtyard & along a Waterfront Property Line)*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.42. Gazebos.

- Refer to Section 4.83 for "*Shade Structures*".
- Refer to Section 8.10 for "*Dock Shade Structures*"

4.43. Generators. Permanent, ground-mounted, generators for residential use or similar equipment may be allowed when approved by the DRC and subject to compliance with the following design criteria.

- a) If allowed by the DRC, a residential generator must be a self-contained, self-insulated, package unit that is specifically manufactured for residential use with low noise output. The generator must have a decibel rating of 70dbA@7m or less.
- b) The generator must be ground-mounted and may not be located within the Front Yard Zone or visible from Public View, including visible from the Lagoon. All portions of the generator including all cables, conduits, disconnects, switches and accessories must be screened from Public View on all sides by means of a solid screen wall, yard fence, or yard wall that is a minimum of twelve inches (12") higher than the highest point of the generator and accessories.

4.44. Grading.

- Refer to Section 4.31 for "*Finished Grade / Finished Graded Pad*".
- Refer to Section 5.23 for "*Landscape Grading*".

4.45. Gutters and Downspouts.

- a) The addition and/or modification of gutters and downspouts must be approved by the DRC prior to installation or modification.
- b) Gutters and downspouts shall be installed consistent with the architecture of the home and must be arranged in an orderly, organized and attractive manner.
- c) Gutters are only allowed to be located immediately adjacent to the edge of the roof eave.
- d) Downspouts shall be placed in locations with the least visible impact. Downspouts must be installed with a true vertical alignment for the portions of the downspout that are mounted to the wall of the house. No angled, skewed, or crooked downspouts will be allowed.
- e) Gutters and downspouts, except copper, shall be painted or factory-finished to complement the the exterior color palette of the home. Typically, gutters should be the same color as the fascia of the home. Unfinished, exposed galvanized, silvery, or shiny gutters are not allowed.
- f) Gutters and downspouts draining storm water from roofs are to be designed to empty away from foundations and paved surfaces and into storm drainage systems or natural systems such as crushed rock beds and swales.
- g) Downspouts and drainage outlets may not direct water onto adjacent properties.

- h) Storm water runoff from gutters and downspouts in the Rear Yard Zone shall be directed into the Bio-Swales so that urban contaminants in the storm water runoff can be naturally filtered by the Bio-Swales before being discharged into the Lagoon. Refer to Section 3.7 for further explanation of the Bio-Swales.
- Refer to Section 4.25 for "*Drainage*".
 - Refer to Section 5.7 for "*Bio-Swale*".

4.46. Heaters (Outdoor).

- Refer to Section 4.56 for "*Patio Heaters*".

4.47. Heights (Building Heights).

- Refer to Section 3.13 for "*Building Heights*".
- Refer to Section 3.14 for "*Height Limits in the Waterward Portions of the Rear yard Zone and Deck Easement*".

4.48. Holiday Lights and Holiday Decorations (Temporary). Exterior temporary holiday lights and exterior temporary holiday decorations do not require the specific approval of the DRC provided that such holiday lights and holiday decorations comply with the following design criteria:

- a) The intent of this section is not to discourage exterior decorating for holidays, but to maintain a standard of quality fitting with a community like Delta Coves. Holiday lighting and holiday decorations should be subtle and tasteful. Holiday decoration displays, including holiday lighting, should not have a commercial appearance and should not be "overdone".
 - b) The DRC and the DCMC each reserve the right to prohibit any holiday lights and/or holiday decorations deemed inappropriate, in their sole respective opinions.
 - c) Holiday lights and holiday decorations are allowed on a Dock, gangway, and on a Deck in the Lagoon Zone, subject to compliance with the criteria outlined in this section.
 - d) Holiday decorations, other than holiday lights, shall not be allowed to be mounted or installed on any roofs.
 - e) Exterior holiday music is not allowed, except for exterior music for personal and social enjoyment in outdoor living spaces provided it does not disturb other residents.
 - f) Temporary Exterior Holiday Decorations (not including holiday lights):
 - i) Halloween decorations are permitted between October 1 and November 6.
 - ii) Fall / Autumn decorations are permitted between October 1 and November 30.
 - iii) Holiday and Christmas decorations are permitted between Thanksgiving and January 10.
 - iv) Decorations for other holidays may be installed no more than two (2) weeks prior to the holiday and must be removed within one (1) week after the holiday.
 - g) Temporary Exterior Holiday Lighting:
 - i) Halloween lights are permitted between October 1 and November 6.
 - ii) Holiday and Christmas lights are permitted between Thanksgiving and January 10.
 - iii) Temporary, seasonal or other types of decorative holiday lighting are not allowed for any other holiday or holiday season.
- Refer to Section 6.17 for "*Permanent Holiday Eave Lights*".
 - Refer to Section 6.15 for "*Temporary Event Lighting at Decks and Docks*".

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.49. Internal Conversion / Interior Remodeling.

- a) For the purpose of these Design Guidelines, an “Internal Conversion” is considered any modifications, remodeling, additions, changes or improvements that are located within the interior of the home.
- b) Approvals from the DRC are not necessary for an Internal Conversion provided that such work does not impact any aspect of the exterior of the home or property; and provided that such work does not conflict with these Design Guidelines.
- c) Any Interior Conversion shall comply with the requirements of the County and any other governing agency, including all applicable zoning codes, building codes and permit requirements.

4.50. Lighting (Outdoor). Refer to Section 6 for “*Outdoor Lighting Standards*”.

4.51. Mailboxes / Parcel Delivery Boxes.

- a) The United States Postal Service (USPS) does not provide mail delivery to the home or street address within Delta Coves. Mail service from the USPS is provided at the local branch of the United States Post Office and residents must apply to the USPS for an individual postal box at the local branch.
- b) Individual mailboxes and parcel delivery boxes are not allowed to be located near the street, in the Neighborhood Street Frontage Zone, or in the Front Yard Zone.

4.52. Mistig Systems. Mistig systems are not permitted on front porches, front balconies, patios or courtyards that face the street.

4.53. Ornamentation (Outdoor).

- Refer to Section 4.8 for “*Architectural Details (Ornamental or Structural)*”.
- Refer to Section 4.9 for “*Art, Artwork, Sculpture and Ornamentation (Exterior)*”.

4.54. Painting and Repainting.

- a) To preserve the quality and appearance of the Community, all property Owners are required to maintain the exterior of their homes in an attractive and well kept manner in compliance with the CC&Rs and these Design Guidelines. Periodically, the exterior of a home needs to be repainted in order to maintain the appearance of the home.
- b) If an Owner wishes to repaint the exterior of their home with the exact same original colors in the exact same original locations, they may do so without the specific approval of the DRC. When using the same color scheme, the locations of the colors must be in the exact same locations as the colors painted by the Original Homebuilder as part of the Original Construction.



All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- c) If an Owner wishes to change any existing exterior color(s), including, but not limited to the color of the walls, siding, trim, front door, garage door, railings or shutters, the Owner must submit a complete Design Review Application to the DRC for review and approval prior to painting.
 - i) The Design Review Application must clearly specify the proposed colors and the locations of the proposed colors.
 - ii) The Design Review Application must include color swatches, color chips or color samples for each proposed paint color. The specifications must include the paint manufacturer, color name, color number, and LRV (light reflectance value).
 - iii) The Design Review Application must include clear and legible color photographs of all sides of the home that clearly identify the proposed locations of each proposed paint color.
- d) The DRC reserves the right to deny any exterior paint color, combination of paint colors, or color scheme that the DRC deems, in its sole discretion, to be too bold, too dramatic, or otherwise not in compatible with the architectural character of the home or the character of the neighborhood.
- e) Refer to Appendix C of these Design Guidelines for the Approved Color Palettes. Specific information such as color names and numbers is available from the Original Homebuilder.
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.55. Parking. Parking of vehicles of any type on the street or on any portion of the Lot shall comply with the *“Delta Coves Vehicle Operation and Parking Policy”* as administered by the DCMC, including any amendments that may be made from time to time. A copy of the *“Delta Coves Vehicle Operation and Parking Policy”* is available for review online at www.deltacovesresidents.com or by contacting the offices of DCMC.

- Refer to Section 4.26 for *“Driveways”*.
- Refer to Section 4.38 for *“Garages”*.
- Refer to the *“Delta Coves Vehicle Operation and Parking Policy”* at www.deltacovesresidents.com.
- Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.56. Patio Heaters. Patio heaters and other outdoor heating elements are allowed subject to compliance with the following design criteria.

- a) Portable patio heaters are not permitted in the Front Yard Zone or on a front porch.
- b) Portable patio heaters are allowed in the Rear Yard Zone; on Decks in the Lagoon Zone; and on Docks.
- c) A portable patio heater shall be located a minimum of five feet (5'-0") from any adjacent residential property line.
- d) The height of a portable patio heater may not exceed nine feet (9'-0") above the adjacent finished grade or paved surface.
- e) A maximum quantity of four (4) portable patio heaters are allowed per property regardless of location, unless approved otherwise by the DRC.
- f) Portable patio heaters do not require specific approval from the DRC provided that such portable patio heaters comply with the design criteria noted herein.
- g) Permanent patio heaters may be allowed to be installed at a covered rear patio or solid-roofed Shade Structure when approved by the DRC and subject to compliance with all applicable building codes and ordinances. Permanent patio heaters shall be integrated into the architecture of the home for the least visibility possible.
 - Refer to Section 4.32 for *“Fireplaces, Fire Pits and Other Outdoor Fire Elements”*.



All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.57. Patio Roofs and Covered Patios. For the purpose of these Design Guidelines, a Covered Patio is an outdoor living area that is covered with a solid architectural roof and is integral to the overall massing and composition of the home. Additions and/or modifications to a Covered Patio or patio roof within the Rear Yard Zone may be allowed when approved by the DRC and subject to compliance with the following design criteria:

- a) All patio roofs and Covered Patios shall be a visual extension of the architectural style and main roof structure of the home. Roofs may not look “attached”; or “stuck on”; or like a “lean to”; or an “afterthought”. Such roofs shall use the same forms, shapes, slopes, overhangs, eaves, fascia, soffits, detailing, materials, finishes and colors as the main Residence.
- b) Patio roofs may not be constructed of glass, acrylic, polycarbonate, plastic, transparent, or translucent panels or materials. As noted above, a patio roof must match the architectural character of the main Residence.
- c) Patio roofs and Covered Patios shall comply with the applicable building setbacks.
- d) If located within the 5’ Levee Access and Maintenance Area (LAMA) for a Perimeter Levee Lot identified in Section 3.1(a) of these Design Guidelines, Owners are advised that any costs associated with any removal, repair and/or replacement of any Covered Patio located within the 5’ Levee Access and Maintenance Area (LAMA) as required by BIMID are at the sole expense of the Owner.
- e) If an Owner desires to enclose an existing Covered Patio within the Rear Yard Zone, the appearance of this portion of the house must match the appearance of the rest of the house. Walls or windows used to enclose an existing Covered Patio may not look like “infill” panels, “infill” sliding glass doors, or “infill” walls that are set between the existing Covered Patio posts and columns. Instead, the enclosed Covered Patio must look like an integral and seamless part of the architecture of the existing home, and may not look like an addition or “afterthought”. The DRC will evaluate a request to enclose an existing Covered Patio on a case-by-case basis.
- f) The enclosure of an existing Covered Patio with screen material may only be allowed for Covered Patios within the Rear Yard Zone. The color of the screen material shall be black, charcoal, dark bronze, or dark brown. Light, white, cream, tan, or beige colors will not be allowed for the screen material. An Owner is required to maintain the appearance of the screens in an attractive manner at all times. If the screen becomes torn, ripped, dilapidated, or otherwise unsightly, the Owner shall remove, replace or repair the screens immediately.
 - Refer to Section 3.8 for “5’ Levee Access and Maintenance Area (LAMA)”
 - Refer to Section 3.12 for “Setbacks”.
 - Refer to Section 4.3 for “Additions (Attached)”.
 - Refer to Section 4.36 for “Front Porches, Covered Front Entries, and Front Balconies”.
 - Refer to Section 4.70 for “Roll Down Sunscreens / Roller Shades”.
 - Refer to Section 4.71 for “Roof Decks, Roof Terraces, Verandas, and Upper Level Outdoor Living Areas”.
 - Refer to Section 4.83 for “Shade Structures in the Rear Yard Zone”.

4.58. Patios (Uncovered).

- Refer to Section 4.21 for “Decks and Patios in the Rear Yard Zone”.
- Refer to Section 4.35 for “Front Courtyards”.
- Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.59. Pergolas.

- Refer to Section 4.83 for “Shade Structures”.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- 4.60. Pet Enclosures, Kennels and Dog Runs.** Pet enclosures, including, but not limited to: dog runs, kennels, hutches, pet shelters, fish ponds, and other areas for the containment of animals may be allowed when approved by the DRC and subject to compliance with the following criteria: *(For clarity, pet enclosures do not include typical yard fences and yard walls.*
- a) Pet enclosures are only allowed in the Rear Yard Zone.
 - b) Pet enclosures may not exceed a height of four feet (4'-0") above the finished grade and may not exceed the height of the adjacent Yard Fences unless otherwise approved by the DRC.
 - c) Pet enclosures shall be placed in a location that minimizes adverse impacts to the users of adjacent properties.
 - d) Pet enclosures must be maintained in a clean, orderly, and attractive manner at all times. Loose tarps or shades or other temporary elements are not allowed on or over pet enclosures.
 - e) Because there are so many different types of pet enclosures, the DRC reserves the right to not allow any pet enclosure that DRC deems, in its sole discretion, to be inappropriate.
 - f) Owners must comply with all applicable governmental regulations regarding pets and domestic animals.
 - Refer to Section 5.2 for *"Residential Landscape Zones"*.
- 4.61. Planter Boxes (Raised).** Refer to Section 4.64 for *"Planter Boxes, Raised Planter Beds, Raised Planting Areas"* in the Landscape Section of these Design Guidelines.
 - Refer to Section 4.64 for *"Pots and Planters"*.
- 4.62. Planting Trellis.** For the purpose of these Design Guidelines, a Planting Trellis is a vertical panel, trellis, lattice, grid or similar item intended to support plants and vines in order to grow the plants vertically. Planting Trellises may be allowed when approved by the DRC and subject to compliance with the following design criteria:
- a) Front Yard Zone Planting Trellis:
 - i) The maximum height of a Planting Trellis in the Front Yard Zone is seven feet (7'-0") tall as measured above the adjacent finished grade, unless otherwise approved by the DRC.
 - ii) Within the Front Yard Zone, Planting Trellises are only allowed within close proximity to yard fences, yard walls, and unarticulated building walls. Planting Trellises are not allowed in open portions of the Front Yard Zone, "in the middle of the front yard", or to define property lines. Planting Trellises are not allowed within the Front Setback of the lot. Planting Trellises are not allowed in front of windows and porches that face a street.
 - b) Rear Yard Zone Planting Trellis:
 - i) The maximum height of a Planting Trellis within the portion(s) of the Rear Yard Zone located between the rear façade of the home and any waterfront property line is forty-two inches (42") tall.
 - ii) The maximum height of a Planting Trellis within the portions of the Rear Yard Zone located inward from the rear façade of the home (for example, in a side yard) is seven feet (7'-0") tall, unless otherwise approved by the DRC.
 - c) Planting Trellises shall be freestanding and self-supporting. Planting Trellises may not be directly attached to the yard wall or yard fence that is located on the common property line.
 - d) Planting Trellises shall be installed true, plumb, vertical and level. If more than one Planting Trellis occurs in a series, the height of all the Planting Trellises shall be the same height for a uniform and organized appearance.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- e) A Planting Trellis should be constructed of durable and low-maintenance materials such as metal or vinyl. Wood Planting Trellises are not allowed in the Front Yard Zone, but may be used in the Rear Yard Zone.
- f) The color of a Planting Trellis shall be black, dark brown, bronze or rust color, unless approved otherwise by the DRC.
- g) The design, pattern, appearance and colors of a Planting Trellis shall be subtle, muted and match the architectural style of the home. Highly-ornate, highly-decorated, and highly-patterned Planting Trellises should be avoided. The DRC reserves all rights to not approve a Planting Trellis that the DRC deems to be inappropriate in its sole discretion.
- h) The Owner shall maintain the plants that grow on the Planting Trellis in an attractive and well-maintained manner. The Owner shall maintain the plants such that the plants do not overhang the yard fence or encroach on a neighboring property.

4.63. Porch. Refer to Section 4.36 for "*Front Porches, Covered Front Entries, and Front Balconies*".

4.64. Pots and Planters. Portable pots, planters, and other elements that contain landscape or flowers are allowed without DRC approval provided that such Pots and Planters comply with the following criteria:

- a) The pots or planters may not be larger than three feet (3'-0") tall and three feet (3'-0") wide.
- b) The total quantity of pots and/or planters in the Front Yard Zone, including on the Front Porch, shall not exceed six (6), unless otherwise approved by the DRC.
- c) The total quantity of pots and/or planters in the Rear Yard Zone may not exceed ten (10), unless otherwise approved by the DRC.
- d) The total quantity of pots and/or planters on a Deck that projects into the Lagoon Zone may not exceed four (4), unless otherwise approved by the DRC.
- e) The total quantity of pots and/or planters on a Dock may not exceed four (4), unless otherwise approved by the DRC.
- f) Pots and planters should be used to accent the overall composition of the landscape and architecture. Within the Front Yard Zone, pots and/or planters should be located near entryways or on a Front Porch. Within the Front Yard Zone, pots and planters must be placed within three feet (3'-0") of the house or immediately adjacent to the front walkway. Pots and planters are not allowed in the middle of the Front Yard or on the outer edges of the Front Yard.
- g) Only plant species from the *Approved Plant List* in Appendix D of these Design Guidelines are permitted in pots and planters in addition to seasonal and perennial flowers.
- h) Owners shall maintain attractive plants and flowers in pots and planters at all times. Empty pots and planters are not permitted.
- i) Pots and planters shall be maintained in an attractive manner at all times, including being located in a vertical and upright position. Pots and planters that are broken, cracked, dilapidated, leaning, or otherwise unsightly shall be removed, replaced or repaired immediately.
 - Refer to Section 3.2 for "*Residential Zones*".
 - Refer to Section 4.9 for "*Art, Artwork, Sculpture and Ornamentation (Exterior)*".
 - Refer to Section 5 for "*Landscape Standards*".
 - Refer to Section 5.11 for "*Artificial Vegetation*".
 - Refer to Appendix D for the "*Approved Plant List*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.65. Play Structures and Recreational Equipment.

- a) All exterior recreational or play equipment, such as swing sets, slides, play structures, playhouses, tree houses, jungle gyms, rope ladders, sandboxes, skateboard ramps, portable or above-ground swimming pools, trampolines (including netted enclosures), volleyball nets, badminton nets, soccer goals, and similar equipment or structures are only allowed within the Rear Yard Zone. Play structures and recreation equipment are not permitted in the Front Yard Zone.
- b) All play structures and recreational equipment that is taller than five feet (5'-0" tall) as measured above the adjacent finished grade shall be located a minimum of five feet (5'-0") from a side property line or any other property line adjacent to another residential property.
- c) Play structures and recreational equipment are not permitted to be physically attached or structurally connected to a yard wall, yard fence or to the main Residence.
- d) The maximum height of any play structure is ten feet (10'-0") tall as measured above the adjacent finished grade.
- e) The DRC may, at its sole discretion, require the addition of trees and/or tall vegetation to screen play and recreational equipment when appropriate.
- f) Lighting of play and recreational equipment is prohibited.
- g) All play and recreation equipment must be maintained in an attractive and well-kept manner at all times.
- h) Temporary and portable play and recreational equipment that is for short-term use, such as hockey goals, volleyball nets, skateboard ramps, do not need specific approval from the DRC, but must be removed from Public View and may not be visible from neighboring properties when not in use. Because this equipment must be removed when not in use, ease of mobility and portability should be considered when choosing this type of equipment.
- i) Small-scale and portable play and recreation equipment that is less than five feet (5'-0") tall and less than six feet (6'-0") wide and is located in the Rear Yard Zone does not require specific approval of the DRC. For example: a small sand box, a small plastic slide, a small plastic playhouse, a small inflatable swimming pool, a small tent, and other similar small-scale play and recreation items are considered small and portable; and therefore, such items do not require specific approval from the DRC provided that such items are located in the Rear Yard Zone. When in doubt, the Applicant should consult with the DRC.
- j) Temporary recreation equipment may not be located within the streets; nor may such temporary recreation equipment impede the public sidewalk.
- k) Because there are so many different possibilities and configurations for play and recreation equipment, the DRC will review play and recreation equipment on a case-by-case basis. The DRC reserves all rights to not allow play or recreation equipment that is deemed to be inappropriate in the sole discretion of the DRC even if such improvements comply with the criteria noted herein.
 - Refer to Section 4.14 for *"Basketball Goals"*.
 - Refer to Section 4.66 for *"Pools and Spas"*.
 - Refer to Section 4.89 for *"Sport Courts"*.
 - Refer to Section 4.103 for *"Water Toys and Water Recreation Equipment in the Lagoon Zone"*.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.66. Pools and Spas.

- a) All swimming pools, spas, hot tubs, and similar water elements may be allowed when approved by the DRC and subject to compliance with the following criteria.
- b) **Swimming pools and in-ground spas are prohibited on Perimeter Levee Lots. Subterranean construction improvements are not permitted on Perimeter Levee Lots. Refer to Section 3.1(a) for a list of Perimeter Levee Lots.**
- c) All swimming pools, in-ground spas, and similar water elements are only allowed within the Rear Yard Zone of a Peninsula Lot, unless specifically noted otherwise below. *(Refer to Section 3.2 of these Design Guidelines for an explanation of the “Rear Yard Zone”.)*
- d) Swimming pools, spas, hot tubs and similar water elements are not allowed in the Front Yard Zone.
- e) The waterline or water’s edge of a swimming pool, spa (including above-ground pre-manufactured spa unit) and similar water elements shall be located a minimum of three feet (3’-0”) from any side property line or other property line adjacent to another residential property, unless specifically approved otherwise by the DRC.
- f) No portion of a swimming pool or in-ground spa may encroach beyond a waterfront property line and into the Lagoon Zone, including, but not limited to: excavation, pool structure, reinforcing, plumbing or equipment.
- g) If a swimming pool or in-ground spa is located within five feet (5’-0”) of any waterfront property line, the Owner must retain a geotechnical engineer to prepare a geotechnical analysis to ensure that the pool (and the construction of the pool) does not impact the rock bank of the Lagoon. The installation or construction of a pool or spa may not cause any negative impact to the rock bank of the Lagoon.
- h) All swimming pools shall be the in-ground type.
- i) Above-ground precast or molded swimming pools are prohibited.
- j) Above-Ground, Pre-Manufactured Spa Units:
 - i) An above-ground, pre-manufactured spa unit may be allowed in the Rear Yard Zone when approved by the DRC and subject to compliance with the design criteria noted herein.
 - ii) An above-ground, pre-manufactured spa unit may be allowed on a Deck in the Lagoon Zone, when approved by the DRC and subject to compliance with the design criteria in Section 3.14 of the Design Guidelines.
 - iii) An above-ground, pre-manufactured spa unit may be allowed on a second floor balcony, veranda, or terrace on the rear of the home when approved by the DRC and provided that the highest point of the spa unit is not taller than the railing at the balcony.
 - iv) The size of an above-ground, pre-manufactured spa unit may not exceed 8’-0” x 8’-0”, unless specifically approved otherwise by the DRC.
 - v) The spa unit must have attractive perimeter skirting around all sides. The color of the perimeter skirting of the spa unit must be neutral in tone and shall complement the color palette of the home.
 - vi) All equipment must be fully-concealed.

IMPORTANT NOTE:

Swimming pools and in-ground spas are **prohibited** on any portion of a **Perimeter Levee Lot**.

Subterranean construction improvements are not permitted on Perimeter Levee Lots in order to maintain the integrity of the levee.

Refer to Section 3.1(a) of these Design Guidelines to determine if you have a **Perimeter Levee Lot**.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- k) Pool features such as slides, diving boards, rocks, boulders, water features, or waterfalls shall be forty-two inches (42”) in height or less if located between the waterward façade of the house and any waterfront property line; or six feet (6’-0”) in height or less if located inward from the rear façade of the house in the side yard area. All heights are measured above the primary patio or pool deck elevation.
- l) All pool features, such as water features, raised pool bond beams, that are visible from neighboring properties or Public View must be finished equally on all sides. No unfinished sides are allowed. For example, if a decorative column is used for a water feature, and the column is clad in stone, then all sides of the column shall be clad in stone for a consistent appearance on all sides. Unfinished sides may not be visible from Public View including potential views from the Lagoon.
- m) Negative edge pools or infinity edge pools may be allowed when approved by the DRC and subject to compliance with the following design criteria.
 - i) The vertical drop for a negative edge pool or infinity edge pool shall not exceed eighteen inches (18”) as measured from the top of the wet edge to the top of the wall that surrounds the return water trough.
 - ii) The color of the tile or material on the vertical face of the negative edge shall be a dark, earthy and neutral color. No bright, bold, colorful or dramatic colors or materials may be used on the vertical face of the negative edge.
 - iii) The vertical face of a negative edge must be maintained in such a manner as to avoid efflorescence or chalking at all times.
 - iv) The DRC may create additional design criteria or stipulations for negative edge pools as it deems appropriate.
- n) Operable, non-reflective pool covers in neutral colors may be allowed subject to approval by the DRC.
- o) All swimming pools, spas, hot tubs, and similar water elements, including any pool safety barriers or drowning prevention safety features, shall comply with applicable codes, ordinances, and permitting requirements of applicable governing agencies, including, but not limited to, compliance with the *Swimming Pool and Safety Act* of the County (including any amendments that may be made from time to time). As part of a Design Review Application for a pool, spa, hot tub, or similar water feature, the Applicant must demonstrate compliance with applicable governing codes, ordinances and regulations. For clarity, the DRC does not review applications for compliance with codes, ordinances and regulations.
- p) Pool safety barriers and fencing for a pool or spa are subject to the review and approval by the DRC on a case-by-case basis. Chain link fencing is prohibited.
- q) All equipment and accessories associated with pools, spas and water elements shall be screened from Public View by a solid wall, solid fence or solid gate to a minimum height of twelve inches (12”) above the highest point of the equipment. Pool equipment may not be located between the waterward façade of the home and any waterfront property line.
- r) Underground gas lines that connect the gas meter or gas stub to the pool equipment are permitted.
- s) All pools, spas, water features, and fountains must discharge into a sewer. Pools, spas, or water elements may not be drained or backwashed onto the street, open space, Bio-Swale, Lagoon, or any adjacent property. Any applicable governing regulations for disposal of pool wastewater must be adhered to.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- t) If a swimming pool or in-ground spa is allowed for a Peninsula Lot, the construction of a pool or spa (including excavation) may not cause any negative impact to the rock bank of the Lagoon or to any adjacent property.
- u) Access for pool and spa construction to an enclosed yard shall only be allowed across the subject property through the front yard fence and/or through the existing side yard gate. Access for pool construction will not be allowed over any portion of the Lagoon. Any damage to site walls, fences, and gates caused by pool construction shall be restored to match the Original Construction. Any repair or restoration work to a wall, fence, or gate must seamlessly match the Original Construction. Any damage to landscaping in the Front Yard Zone caused by pool construction shall be restored to its condition prior to the damage.
- v) Excess earth material generated from the excavation of the pool or spa may not be placed in the Lagoon Zone or in any exposed yard. Earth displaced from the excavation of a pool shall be hauled away from the property and disposed of properly.
- aa) Children’s portable wading pools that are less than ten feet (10'-0") in diameter and less than eighteen inches (18") in height are allowed within the Rear Yard Zone and do not require DRC approval.
 - Refer to Appendix “3.1(a)” for *“Perimeter Levee Lots”*.
 - Refer to Section 3.8 for *“Perimeter Levee Maintenance Easement (LVME)”*.
 - Refer to Section 3.14 for *“Height Limits in the Waterward Portions of the Rear Yard Zone and Deck Easement”*.
 - Refer to Section 7.12 for *“Other Deck Related Improvements”*.
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.67. Rails and Railings. Rails, railings, handrails, guardrails, and other types of decorative or functional railings may be added or modified when approved by the DRC and subject to compliance with the following design criteria.

- a) The style, pattern, and appearance of the railing shall match the architectural style and character of the home. Overly complicated decoration as part of a railing which detracts from the overall appearance of the home shall be avoided.
- b) The color of a railing shall complement the color palette of the home.
- c) The height of the railing at a Front Porch may not exceed thirty-six inches (36") in height.
- d) The height of other railings may not exceed forty-two inches (42") in height.
- e) Railings that serve as fall protection or handrails shall comply with all applicable codes and ordinances in addition to the aesthetic requirements noted herein.
- f) Refer to Section 7.9 for *“Railings, Guardrails, Wind Screens, and Fall Protection for a Deck Easement in the Lagoon Zone”*.
- g) Railings are not allowed at a Dock. Refer to Section 8.20(d) of these Design Guidelines.
- h) Because there are so many different possibilities for railings, the DRC will review railings on a case-by-case basis. The DRC reserves all rights to not allow a railing that is deemed to be inappropriate in the sole discretion of the DRC.
 - Refer to Section 4.36 for *“Front Porch, Covered Front Entries, and Front Balconies”*.
 - Refer to Section 4.71 for *“Roof Decks, Roof Terraces, Verandas, and Upper Level Outdoor Living Areas”*.
 - Refer to Section 7.9 for *“Railings, Guardrails, Wind Screens, and Fall Protection for a Deck in the Lagoon Zone”*.
 - Refer to Section 8.20 for *“Prohibited Dock Improvements”*.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.68. Ramadas.

- Refer to Section 4.83 for "*Shade Structures in the Rear Yard Zone*".
- Refer to Section 8.10 for "*Dock Shade Structures*".

4.69. Refuse Containers. Refer to Section 4.97 for "*Trash and Recycling Containers*".

4.70. Roll Down Sunscreens / Roller Shades. Roll down sunscreens and exterior roller shades on a covered patio or covered balcony within the Rear Yard Zone may be allowed when approved by the DRC and subject to compliance with the following criteria.

- a) Roll down sunscreens are only allowed within the Rear Yard Zone. Roll down sunscreens and roller shades are not allowed on a front porch, front entry portico, covered front entry or front balcony.
- b) No Surface Mounted Locations: Roll down sunscreens, including the housing, rails or cables shall **not** be mounted or attached to the exterior face of a wall, post or column. "Flush Mount" and "Surface Mount" conditions are not allowed.
- c) Inside Mount: (Preferred and Acceptable) Roll Down Sunscreens that are mounted to the ceiling of the covered patio and recessed inside of the opening to the covered patio and behind the beam, as shown on the adjacent illustration, are acceptable and preferred.

d) Soffit Mount: (Acceptable)

- i) Roll Down Sunscreens that are mounted to the underside of the soffit or beam of the opening to the covered patio are acceptable.
- ii) The housing must be recessed a minimum of two inches (2") from the exterior face of the adjacent walls, columns or posts.
- iii) The screen must be recessed a minimum of four inches (4") from the exterior face of the adjacent walls, columns or posts.

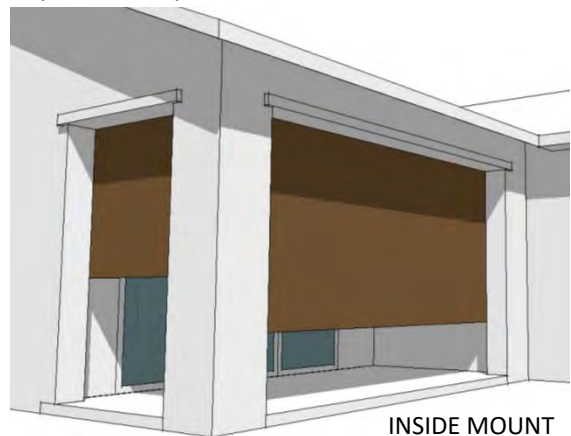
e) The size of a roll down sunscreen shall fit and fill the entire opening between the building walls,

posts, and/or columns. A roll down sunscreen is not permitted to only cover a portion of the opening. Roll down sunscreens shall be custom fit to match the size of the opening between the building walls, posts, and columns.

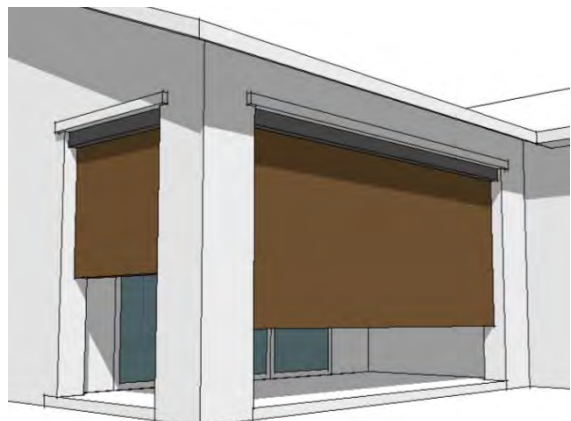
f) The color of the sunscreen fabric shall be black, dark brown, dark gray or bronze. Light, white, cream, tan, beige, patterned, or colorful sunscreen fabrics are not allowed.

g) The color of the metal housing, rails, bars, guides and accessories of a roll down sunscreen shall match the color of the trim of the home, unless specifically approved otherwise by the DRC.

h) Roll down security shutters are not allowed.



INSIDE MOUNT
ROLL DOWN SUNSCREEN



SOFFIT MOUNT
ROLL DOWN SUNSCREEN

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- i) An Owner is required to maintain the appearance of a roll down sunscreen in an attractive and well kept manner at all times. If the sunscreen becomes torn, ripped, dilapidated, or otherwise unsightly, the Owner shall remove, replace or repair the roll down sunscreen immediately.
 - Refer to Section 4.11 for "*Awnings, Canopies and Projecting Sunshades*".
 - Refer to Section 4.19 for "*Curtains (Outdoor)*".
 - Refer to Section 4.106 for "*Window Security Devices / Window Guards / Roll Down Security Shutters*".
 - Refer to Section 4.107 for "*Window Sunscreens / Window Solar Screens*".

4.71. Roof Decks, Roof Terraces, Verandas, and Upper Level Outdoor Living Areas.

- a) Roof decks, roof terraces, observation decks, or other upper-level outdoor areas that can be occupied by a person which are located above the existing finished floor level(s) of the interior living spaces of the Original Construction, whether covered or uncovered, are prohibited on any Residence or Accessory Building.
- b) Balconies, terraces, verandas, and other outdoor living areas (both covered and uncovered) that are located at the same height as the existing enclosed interior upper level living areas of the Residence may be allowed if approved by the DRC; provided that these outdoor spaces are immediately adjacent to and directly accessible from the livable interior spaces on the upper floor of the home; and are well-integrated into the architectural composition, style, and massing of the Residence.
- c) The addition of a balcony, terrace, veranda, raised deck, or other outdoor living area on the upper level of an existing home is a difficult proposition due to the setbacks, building massing, and architectural composition. In the rare case that a property is suited for the addition of an upper level outdoor living area, the design must be integrated with the building massing and must be consistent with the architectural style, massing, forms, composition and character of the home as determined by the DRC. Such elements must use the same forms, shapes, geometry, roof slopes, overhangs, eaves, soffits, railings, detailing, materials, finishes, and colors as the main Residence. An added upper level outdoor living area must appear as a logical, architecturally-integrated, and visual extension of the massing, forms, and composition of the Original Construction. Such elements may not look "attached", "stuck on", or look like an "after thought" as determined in the sole discretion of the DRC.
- d) Balconies, verandas, terraces, raised decks, and other upper level outdoor living areas shall comply with the applicable building setbacks for the Lot; and may not project beyond the waterfront property line and into the Lagoon Zone.
- e) Balconies, verandas, raised decks, terraces, and roofs must appear to be visually well-supported with columns and posts that have proper scale, proper spacing, and proper proportion relative to the rest of the architectural composition, as determined by the DRC.
- f) If an Owner desires to enclose an existing covered balcony or veranda on the rear elevation of the home, the appearance of this portion of the house must match the appearance of the rest of the house. Walls or windows used to enclose an existing covered patio may not look like "infill" panels or "infill" walls that are set between the existing posts and columns. Instead, the enclosed balcony or veranda must match the architecture of the existing home, including all trims, colors, materials, and architectural details. In general, any enclosed covered balcony or veranda shall be seamless with the existing home, and may not look like an addition or "afterthought". The DRC will evaluate a request to enclose an existing balcony or veranda on a case-by-case basis.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- g) The enclosure of an existing covered balcony or veranda with screen material may only be allowed for covered balconies and verandas on the rear elevation of the home. The screen material must be recessed a minimum of four inches (4") from the exterior face of the adjacent walls, posts or columns. The color of the screen fabric shall be black, dark bronze, dark gray or dark brown. Light, white, cream, tan, or beige colors will not be allowed for the screen material. An Owner is required to maintain the appearance of the screens in an attractive and well-kept manner at all times. If the screen becomes torn, ripped, dilapidated, or otherwise unsightly, the Owner shall remove, replace or repair the screens immediately.
- h) Exterior stairs to an upper level outdoor living area must be integral to the architectural style and composition of the home; and must be located within the Rear Yard Zone. Exterior stairs to an upper level outdoor living area are not allowed on the front of the home or in the Front Yard Zone.
- i) Exposed exterior spiral or circular stairs are prohibited.
- j) An upper level outdoor living area shall be maintained in an attractive, clean, and well-maintained manner due to its visibility from Public View and from neighboring properties. Upper level outdoor living areas may not appear to be overly cluttered, and may not be used for general storage.
- k) If located within the 5' Levee Access and Maintenance Area (LAMA) for a Perimeter Levee Lot identified in Section 3.1(a) of these Design Guidelines, Owners are advised that any costs associated with any removal, repair and/or replacement of any improvements located within the 5' Levee Access and Maintenance Area (LAMA) as required by BIMID are at the sole expense of the Owner.
- l) Because there are so many different possibilities, the DRC will review additions and/or modifications of a balcony, veranda, raised deck, or other upper level outdoor living area on a case-by-case basis in the sole discretion of the DRC. The DRC reserves all rights to not approve any addition or modification to a balcony, veranda or other upper level outdoor living areas that is deemed to be inappropriate in the sole opinion of the DRC including, but not limited to, reasons of: size, scale, height, form, shape, proportion, prominence, composition, lack-of-integration, lot coverage, lot size, yard size, proximity to adjacent properties, proximity to the Lagoon, visual impact, appearance, details, colors, and/or materials.
 - Refer to Section 3.12 for "*Setbacks*".
 - Refer to Section 3.8 for "*5' Levee Access and Maintenance Area (LAMA)*".
 - Refer to Section 4.3 for "*Additions (Attached)*".
 - Refer to Section 4.67 for "*Rails and Railings*".
 - Refer to Section 4.90 for "*Stairs (Outdoor)*".

4.72. Rooftop Equipment.

Unless specifically allowed by the DRC or by other sections of these Design Guidelines, equipment of any type is not allowed on the roof surface of a Residence or Accessory Building.

- Refer to Section 4.5 for "*Air Conditioning and HVAC Equipment*".
- Refer to Section 4.6 for "*Antenna and Satellite Dishes*".
- Refer to Section 4.88 for "*Solar Energy Devices*".

4.73. Roof Materials.

- a) Changes to existing roof materials require approval of the DRC and will be reviewed on a case-by-case basis.
 - b) The repair and/or replacement of any roof materials shall match the Original Construction, unless otherwise approved by the DRC.
 - c) The type, pattern, style, color, and appearance of the roof materials must match the architectural style, character and color palette of the Residence.
 - d) For certain architectural styles, standing seam metal roofs with a low-gloss finish may be allowed, if approved by the DRC.
 - e) Wood shake shingles are not allowed.
 - f) Rolled, flexible, membrane, or similar sheet roof materials are not allowed to be exposed for any sloped roofs.
 - g) The DRC reserves all rights to deny the use of roof materials that it deems in its sole discretion to be inappropriate including, but not limited to, reasons of: type, color, material, texture, reflectivity, or lack of architectural continuity.
- Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.74. Roof Projections and Roof Flashing.

All roof projections, including but not limited to: exhaust vents, plumbing vents, HVAC vents, appliance vents, and other roof projections including the associated flashing shall be painted to match the color of the adjacent building surfaces or the darkest colors of the adjacent roof surface.

4.75. Roof and Attic Vents.

- a) Roof ventilation, if necessary, shall be integrally designed into the roof and/or gables. Integrated roof vents, such as "O'Hagin" vents, soffit vents, and continuous ridge vents, are preferred.
- b) Roof vents and all associated flashing within the field of roofing material shall be painted to match the darkest colors of the roof material.
- c) Gable vents shall be designed and detailed to complement the architectural style of the home. Gable vents shall be painted to complement the color scheme of the home.
- d) Dormer vents and box vents are prohibited on any sloped roof.

4.76. Satellite Dishes. Refer to Section 4.6 for "*Antenna and Satellite Dishes*".

4.77. Screen Doors (Exterior). Refer to Section 4.80 for "*Security Doors and Screen Doors*".

4.78. Sculpture (Exterior). Refer to Section 4.9 for "*Art, Artwork, Sculpture and Ornamentation (Exterior)*".

- 4.79. Security Cameras and Devices (Exterior).** Exterior security cameras and similar video surveillance devices may be allowed when approved by the DRC and subject to compliance with the following criteria:
- a) Security cameras may not be mounted higher than the eave line of the Residence or Accessory Structure; nor higher than ten feet (10'-0") above the adjacent finished grade (whichever is the smaller dimension).
 - b) A maximum quantity of eight (8) exterior security cameras or devices is allowed on a property including locations at Dock.
 - c) The color of the security cameras, including any brackets or accessories shall be black, dark bronze or painted to match the color of the house or adjacent structure.
 - d) Wires and cables (if any) must be concealed from Public View. The DRC encourages the use of wireless devices to eliminate the need for cables and wires.
 - e) Security cameras may not be mounted on trees or vegetation in the Front Yard Zone.
 - f) Security cameras are allowed to be located at Docks and Decks, subject to compliance with the design criteria noted herein.
 - g) Security cameras may not be oriented toward adjacent residential properties. Security cameras must comply with any applicable laws or ordinances in regard to privacy of neighbors.
- 4.80. Security Doors and Screen Doors.** Security doors and/or screen doors may be allowed when approved by the DRC and subject to compliance with the following criteria:
- a) The style, pattern, character and appearance of a security door or screen door must match the character and architectural style of the home, as determined by the DRC in its sole discretion.
 - b) Animal, plant, character, symbols, numbers, letters, pictorial graphic images or other graphic depictions are not allowed on a security door or screen door.
 - c) Designs for security doors that are deemed to be very contemporary, bold, highly-artistic, dramatic, or not compatible with the architectural style of the home, as determined in the sole discretion of the DRC, will not be approved.
 - d) The size and shape of a security door or screen door shall be the same size and shape as the door that is behind the security door or screen door.
 - e) Security doors are not allowed on pairs of French doors that face a street, unless otherwise approved by the DRC.
 - f) Security and screen doors shall be painted an appropriate complementing color to the overall color palette of the Residence.
 - g) Perforated metal mesh used as a screen material shall be painted to match the color of the security door or screen door.
 - h) The color of screen fabric shall be black, dark bronze, dark gray or dark brown, unless otherwise approved by the DRC. In general, white, light, beige, tan, or colorful screening material is not allowed, unless specifically approved by the DRC.
 - Refer to Section 4.24 for "*Doors (Exterior)*".
 - Refer to Section 4.40 for "*Gates (Low-Scale Gates at a Front Courtyard or along a Waterfront Property Line)*"
- 4.81. Setbacks.** Refer to Section 3.12 of these Design Guidelines for "*Setbacks*".
- Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.82. Shade Sails.

Shade sails, fabric shade canopies, tensile fabric structures, tarps, and other similar fabric, flexible or plastic shade elements are prohibited within the boundaries of the Lot or on a Deck in the Lagoon Zone.

- Refer to Section 4.11 for "*Awnings, Canopies and Projecting Sun Shades*".
- Refer to Section 4.70 for "*Roll Down Sunscreens / Roller Shades*".
- Refer to Section 4.83 for "*Shade Structures in the Rear Yard Zone*".
- Refer to Section 4.107 for "*Window Sunscreens*".
- Refer to Section 8.10 for "*Dock Shade Structures*".
- Refer to Section 8.11 for "*Sunscreens at a Dock Shade Structure*".
- Refer to Section 8.12 for "*Retractable Boat Covers*".
- Refer to Section 8.13 for "*Removable Boat and Watercraft Covers*".

4.83. Shade Structures in the Rear Yard Zone. Shade structures, pergolas, gazebos, ramadas, shade trellis, and similar structures and permanent shading devices may be allowed when approved by the DRC and subject to compliance with the following criteria.

General Criteria.

- a) All shade structures must be approved by the DRC prior to installation.
- b) In general, the size, shape, forms, scale, construction materials, colors, and finishes of all shade structures shall match and/or complement the architectural style and character of the Residence.
- c) Shade structures may be free-standing; or may be attached to the Residence. Shade structures may not be attached to a yard fence or yard wall.
- d) Shade structures shall be appropriate in scale and considered in the overall design of the site, the architecture, and the outdoor spaces. The DRC reserves all rights, in its sole discretion, to not approve a shade structure that is deemed inappropriate for reasons of: size, scale, height, lot coverage, location, setbacks, and appearance, including shape, style, colors, and materials.
- e) All shade structures must be permanently affixed to the ground and/or structurally attached to the Residence.
- f) All shade structures shall comply with applicable codes, ordinances and permitting requirements enforced by the applicable governing agencies. Keep in mind, that local ordinances and building codes, including fire codes, may regulate the types of materials that can be used within five feet (5'-0) of a property line.
- g) If a shade structure is located within the 5' Levee Access and Maintenance Area (LAMA) for a Perimeter Levee Lot identified in Section 3.1(a) of these Design Guidelines, Owners are advised that any costs associated with any removal, repair and/or replacement of any improvements located within the 5' Levee Access and Maintenance Area (LAMA) as required by BIMID are at the sole expense of the Owner.

CROSS REFERENCE:
For shade structures, boat covers, and boat canopies located at a **Dock** in the Lagoon Zone, refer to **Sections 8.10, 8.11, and 8.12** of these Design Guidelines.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Location and Setbacks.

- h) Shade structures are prohibited in the Front Yard Zone.
- i) Shade structures in the Rear Yard Zone must be located a minimum of five feet (5'-0") from any side property line or other property line adjacent to another residential property. These setbacks are measured perpendicular from the property line to the exterior face of the structural posts or columns that support the shade structure. Beams, rafters, trellis members, or overhangs may project into the side setback up to but not exceeding two feet (2'-0").
- j) No portion of a shade structure (including overhangs) is allowed to project past the waterfront property line and into the Lagoon Zone.
- k) Shade structures are not allowed on a Deck in the Lagoon Zone.
- l) Refer to Sections 8.10, 8.11, and 8.12 of these Design Guidelines for shade structures and boat canopies at a Dock.

Size and Shape.

- m) The maximum height allowed for a shade structure is twelve feet (12'-0") as measured above the adjacent finished grade, unless specifically approved otherwise by the DRC.
- n) If a shade structure has any horizontal dimension larger than twenty-five feet (25'-0"), the shade structure must be broken up into smaller masses and smaller forms in order to avoid a single continuous shade structure across the entire rear of the home. The massing, scale and proportions of the shade structure must have appropriate composition that complements the architecture of the home.
- o) The shape, form and geometry of a shade structure shall be "square" or "rectangular" in shape. The horizontal geometry of the shade structure shall be parallel and perpendicular to the horizontal geometry of the Residence. Curved shapes, undulating forms, rounded corners, angled shapes, odd shapes, and odd geometries are not allowed, unless specifically approved otherwise by the DRC.
- p) Trellis-style shade structures and solid roof patio covers shall be constructed horizontal, level, true and plumb. Angled or sloped forms, as well as pitched roofs, require specific approval from the DRC and will often be required to match the geometry and roof pitch of the existing home, if allowed. In general, roof slopes that are less than a 2:12 pitch will not be allowed for a shade structure.

Materials.

- q) In general, construction materials, colors, finishes, architectural details, and architectural style of the shade structure shall be similar to or compatible with the design of the Residence.
- r) Shade structures must be constructed of quality, durable, and low-maintenance materials such as:
 - i) Hardwood (Redwood, Cedar, Ipe or Indian teak) treated with a penetrating sealer or matte finish stain.
 - ii) Metal with a paint powdercoat finish or marine grade paint finish.
 - iii) Cor-ten steel.
 - iv) AlumaWood, EliteWood, or similar types of aluminum products that are common for shade structures. (The use of wood-like aluminum products is preferred over the use of real wood due to durability and low maintenance).
- s) Tent-style shade structures, tensile fabric structures, fabric components, retractable horizontal fabric panels, shade sails, as well as other shade structures constructed of fabric, fabric and metal, and/or fabric panels are not permitted, unless otherwise approved by the DRC.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- t) Corrugated metal, corrugated fiberglass, thin wood lattice, thin plastic lattice, and tarps are not allowed as materials that are part of a shade structure.
- u) Materials used for shade structures that are located within five feet (5'-0") of any property line must comply with all applicable codes, ordinances, and regulations, including potential requirements of the Fire Code relative to use and restrictions of combustible and/or fire-rated materials.

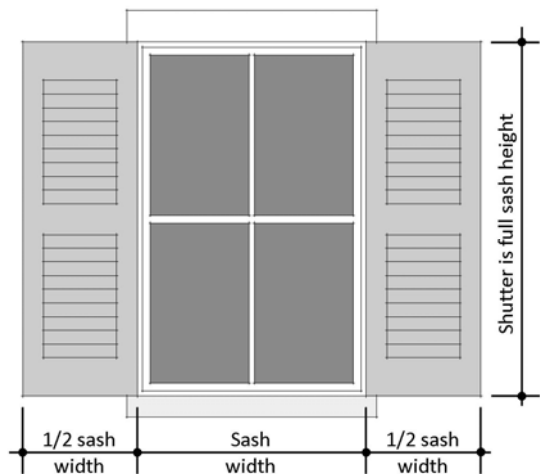
Colors.

- v) The colors of a shade structure shall match and/or complement the colors of the existing home. Bold, dramatic, high-patterned or contrasting colors and materials are not allowed as part of a shade structure.

- Refer to Section 3.1(a) for "*Perimeter Levee Lots*".
- Refer to Section 3.8 for "*5' Levee Access and Maintenance Area (LAMA)*".
- Refer to Section 3.12 for "*Setbacks*".
- Refer to Section 4.2 for "*Accessory Buildings and Structures (Detached)*".
- Refer to Section 4.11 for "*Awnings, Canopies and Projecting Sunshades*".
- Refer to Section 4.57 for "*Patio Roofs and Covered Patios*".
- Refer to Section 4.70 for "*Roll Down Sunscreens / Roller Shades*".
- Refer to Section 8.10 for "*Dock Shade Structures*".
- Refer to Section 8.11 for "*Sunscreens at a Dock Shade Structure*".
- Refer to Section 8.12 for "*Retractable Boat Covers*".
- Refer to Section 8.13 for "*Removable Boat and Watercraft Covers*".
- Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.84. Shutters. Modifications, repainting, replacement, and/or addition of shutters on the exterior of a home require the approval from the DRC prior to installation or modification. Exterior shutters shall comply with the following design criteria.

- a) Shutters may be used for both doors and window elements to create an additional "layer" of texture and color as well as to provide climate amelioration.
- b) Shutters shall be board or louvered designs.
- c) Shutters shall be constructed of durable and low maintenance materials, such as wood, synthetic wood, or aluminum.
- d) Double shutters are to be full sash height and half the sash width for the window or door they adjoin.
- e) Single shutters are to be full sash height and the full sash width of the window or door they adjoin.
- f) Shutter colors shall complement the overall color scheme of the residence.
- g) It is unlikely the DRC will approve the permanent removal of shutters that were installed as part of the Original Construction of the Residence.



- Refer to Section 4.106 for "*Window Security Devices / Window Guards / Roll-Down Security Shutters*".
- Refer to Section 4.107 for "*Window Sunscreens / Window Solar Screens*".

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.85. Sidewalks. Refer to Section 4.101 for *“Walkways and Sidewalks”*.

4.86. Signs and Signage.

- a) Unless specifically noted below, posting of signs of any kind (permanent or temporary) on a residential Lot or within the associated Lagoon Zone is strictly prohibited unless such sign has been approved by the DRC in advance; unless such sign is protected by law; or unless such sign is specifically identified in this section. Due to the wide variety of potential signage, the DRC reserves the right to create additional and/or modified signage criteria.
- b) **Real Estate Signs: “For Sale”, “For Rent” and “For Lease”.** A Real Estate Sign is permitted without the approval of the DRC subject to compliance with the following criteria:
 - i) A maximum of one (1) Real Estate Sign may be placed in the Front Yard Zone or in the front window of a property.
 - ii) Real Estate Signs are not permitted in the Rear Yard Zone; and may not be located on a fence, railing or site wall within or around the Rear Yard Zone.
 - iii) Real Estate Signs are not permitted to be located anywhere within the Lagoon (Parcel A); and may not be located within the rock slope of the Lagoon bank.
 - iv) Real Estate Signs are not permitted to be located on any portion of an extended Deck in the Deck Easement.
 - v) Real Estate Signs are not permitted to be located on a Dock or gangway.
 - vi) Real Estate Signs are not permitted in the Neighborhood Street Frontage Zone between the curb and public sidewalk.
 - vii) Real Estate Signs may not project into a street, sidewalk, or accessway; nor may they interfere with views and sight lines for vehicular traffic.
 - viii) The Real Estate Sign including the post may not exceed a height of four feet six inches (4'-6") above the adjacent finished grade.
 - ix) The primary sign panel of a Real Estate Sign may not be larger than eighteen inches by twenty four inches (18"x24") in size.
 - x) The secondary sign panel (or rider) may not be larger than 6" x 24". No more than two (2) secondary sign panels or riders are allowed.
 - xi) Signs must be professionally lettered and organized and made of durable materials.
 - xii) Balloons, flags, flashers, lights or other promotional material may not be attached to a Real Estate Sign.
 - xiii) A maximum of one (1) flyer box may be attached to the sign post.
 - xiv) Real Estate Signs must be removed from the property when the property is taken off the market or within seven (7) days after close of escrow. “Sold”, “Pending”, “In Escrow”, and similar "riders" are not permitted after seven (7) days of close of escrow.
 - xv) Real Estate Signs must be maintained in an attractive manner at all times. Faded, peeling, broken, fallen, leaning, crooked or dilapidated signs must be repaired, replaced, or removed immediately.
 - xvi) Directional Real Estate Signs (such as directional signage for open houses) are strictly prohibited. A maximum of one (1) “Open House” sign is permitted on the property. Open House signs are not permitted in any Common Areas of the Community, including in the Lagoon Zone.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- c) **Election and Political Signs** are permitted without approval of the DRC subject to compliance with the following criteria:
 - i) Unless otherwise permitted by law, election and political signs may not be posted more than forty-five (45) days before an election with removal required within seven (7) days after an election.
 - ii) The maximum size of an election and/or political sign is six square feet (6 s.f.).
 - iii) The number of signs is limited to one (1) sign per political office of ballot issue that is contested in the pending election.
 - iv) Election and political signs must be located within the boundaries of the real property owned by the Owner. Election and political signs are not permitted on any Common Area; street right-of-way; area between the street and the public sidewalk; area within the Lagoon Zone (including Decks and Docks); or property owned by DCMC.
 - d) **Security and Surveillance Signs** are permitted without approval of the DRC subject to compliance with the following criteria:
 - i) One (1) security or surveillance sign is permitted at the front of the property located in a window or close to the front door of the home.
 - ii) One (1) additional security or surveillance sign is permitted at the rear of the property or on the Dock.
 - iii) The maximum size of a security or surveillance sign is limited to one square foot (1 s.f.) maximum.
 - e) **Miscellaneous Signs** such as “Private”, “Beware of Dog” and other similar types are strongly discouraged but shall not exceed 9” x 12” in size, if used. A maximum number of two (2) of these types of signs are allowed on a Lot.
 - f) **Garage Sale / Yard Sale Signs** are allowed to be placed after sunset the night before the sale and must be removed by sunset the day of the sale. Directional signs for a garage sale or yard sale are not permitted. Garage sale/yard sale signs may not exceed 24” x 24” in size.
 - g) **Prohibited Signs** include:
 - i) Home-Based Business signs.
 - ii) Temporary signs related to construction or services provided by contractors, painters, landscapers, pool contractors, vendors or service providers.
 - iii) Attaching signs to trees, signposts, light poles, fences, walls, community infrastructure or similar elements.
- Refer to Section 8.18 for “Dock Signage”.
 - Reference: Rule Change Adopted: October 9, 2024.

- 4.87. Skylights and Solar Tubes.** Skylights, including solar tubes, may be allowed when approved by the DRC and subject to compliance with the following design criteria:
- a) Skylights, including solar tubes, shall be integrally designed into the roof structure and shall be located on the back of structures so as not to be visible from the street or adjoining lots.
 - b) Skylight glazing is not to be backlit or manufactured of reflective material.
 - c) Skylights are to be located so that nighttime light emission does not up light adjacent tree canopies.
 - d) Skylight frames, curbing and flashing shall be colored or painted to match the adjacent materials. Silver, mill-finish aluminum and other reflective finishes are not allowed.
 - e) The DRC reserves the right to limit the total quantity and/or total area of skylights on a home in the sole discretion of the DRC.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- 4.88. Solar Energy Devices.** The DRC is supportive of Solar Energy Devices and other means of renewable energy and resource conservation; but just like every detail at Delta Coves, the DRC also supports the beautiful aesthetics of the Community. The DRC believes that the best design solutions are those that balance all factors, including function and aesthetics. Solar Energy Devices may be allowed when approved by the DRC and subject to compliance with the following design criteria:
- a) The location of solar energy devices shall be approved by the DRC prior to installation.
 - b) Solar panels are not allowed on roofs that face the street, when other equally-effective locations exist.
 - c) Solar panels that are located on a sloped roof are required to be arranged in a simple rectangular shape to the greatest extent possible. Solar panels that are arranged in staggered, stair-stepped, saw-toothed, and checkerboard shapes are strongly discouraged and may be not allowed, if alternative layouts for effective use are available.
 - d) Roof-mounted solar panels shall be placed at the same slope or pitch as the roof on which they are located, unless otherwise approved by the DRC. Roof-mounted solar panels may not be placed at a slope or angle that is different from the slope of the roof plane.
 - e) Roof-mounted solar panels shall be placed as close as possible to the existing roof plane using the shortest mounting posts possible.
 - f) The highest point of solar panels may not be higher than the ridge of the roof.
 - g) The color of the frames of the photovoltaic solar panels shall be black or anodized dark bronze. Metal frames that are grey, silver, mill-finish aluminum, shiny or reflective colors are not allowed.
 - h) All exposed brackets, fasteners, pipes, conduits, clips, attachments, boxes and similar accessories must be in the colors of black, bronze, or painted to match the surface to which they are attached. No shiny, silvery, gray, chrome or similar finishes may be exposed from Public View.
 - i) To the greatest extent possible, exposed conduits or wiring shall be located in the least conspicuous locations possible. All surface-mounted conduits must be painted to match the color of the adjacent building surface. The objective is that any conduits have the least amount of visual impact possible.
 - j) The inverter, photovoltaic disconnect, and meter must be located immediately adjacent to the existing utility equipment on the side elevation of the house or within the garage, unless otherwise approved by the DRC. Equipment related to a Solar Energy Device is not allowed to be mounted on the front elevation or rear elevation of the home.
 - k) The exposed disconnect switch boxes, meter box, or any other appurtenances shall be painted to match the adjacent building surface. It is not necessary to paint over labels or placards on these boxes.
 - l) A Solar Energy Device shall comply with all requirements, codes, ordinances and permitting requirements, including clearances and fire safety zones, as required by the County or any other applicable governing agency.
- Refer to Section 4.87 for "*Skylights and Solar Tubes*".

4.89. Sport Courts.

- a) Sport courts and game courts may be allowed on certain larger lots at the sole discretion of the DRC. Setbacks, landscaping, buffering and location shall be considered on a case-by-case basis by the DRC.
- b) Lighting of sport courts and game courts with overhead lighting is not allowed.
- c) Sport courts, game courts and accessories (such as basketball hoops) shall be screened from street view and neighboring lots.
 - Refer to Section 4.14 for "*Basketball Goals*".
 - Refer to Section 4.65 for "*Play Structures and Recreational Equipment*".

4.90. Stairs (Outdoor). For the purpose of these Design Guidelines, Outdoor Stairs refers to stairs and staircases with more than three (3) vertical risers.

- a) Outdoor Stairs must be integrated into the architectural style, character, massing, details, colors and materials of the existing Residence and should not appear as a "tacked on" or "added" element. The objective is that Outdoor Stairs appear as an integral part of the architectural character of the home, as determined in the sole discretion of the DRC.
- b) Handrails or railings must match the architectural style of the home and any existing railings on the existing Residence.
- c) Exterior metal stairs and exterior spiral stairs are not allowed.
- d) Exterior ladders are not allowed as permanent elements.
 - Refer to Section 4.67 for "*Rails and Railings*".
 - Refer to Section 4.71 for "*Roof Decks, Roof Terraces, Verandas, and Upper Level Outdoor Living Areas*".

4.91. Storage (Exterior/Unenclosed).

- a) Unenclosed exterior storage areas must be located within the Rear Yard Zone and surrounded by a solid wall or solid fence. Such storage may not be higher than the yard walls or yard fences. Such storage shall not be visible from a neighboring property and must be screened from Public View, including potential views from the Lagoon.
- b) Exterior storage is not allowed on Front Porches, Front Balconies, Front Courtyards, Rear Balconies/Verandas, Decks, or Docks.
- c) No storage of any type is allowed below a Deck in the Lagoon Zone.
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.92. Storage Structures: Storage Buildings, Storage Sheds and Storage Lockers. Storage buildings, storage sheds, outdoor storage cabinets, or other small exterior storage structures may be allowed when approved by the DRC and subject to compliance with the following design criteria:

- a) For the purposes of these Design Guidelines, a Storage Shed is considered a storage-related structure that does not exceed eighty square feet (80 s.f.) in area under roof and does not exceed a height of nine feet (9'-0") above the adjacent finished grade.
- b) Storage Sheds and storage-related structures that are larger than eighty square feet (80 s.f.) in area under roof or taller than nine feet (9'-0") in height are considered to be an "Accessory Building". Refer to Section 4.2 of these Design Guidelines for design criteria for "Accessory Buildings and Structures (Detached)". It is hereby noted that "Accessory Structures" have a much higher level of architectural

<p style="text-align: center;">CROSS REFERENCE</p> <p>For storage structures at a Dock in the Lagoon Zone, refer to Section 8.15(b)(xii) of these Design Guidelines.</p>

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- detail and architectural compatibility that is required to match the existing house.
- c) All such storage structures are limited to locations within the side yard portion of the Rear Yard Zone, unless specifically approved otherwise by the DRC.
 - d) Storage structures that are taller than 42" tall are not allowed between any waterward façade of the home and the waterfront property line; and are not allowed on a Deck in the Lagoon Zone. (Refer to Section 3.14 of these Design Guidelines.)
 - e) Refer to Section 8.15(b)(xii) of these Design Guidelines for design criteria for storage structures located on a Dock in the Lagoon Zone.
 - f) All storage structures shall comply with the typical building setback criteria established for the primary home.
 - g) Storage structures that are taller than six feet (6'-0") in height as measured above the adjacent finished grade shall be located a minimum of five feet (5'-0") from any side property line.
 - h) Storage structures shall be constructed of durable and low maintenance materials.
 - i) The color of a storage structure shall complement the color scheme of the existing home or be painted to match the color scheme of the Residence. The roof color of the storage structure shall be a dark color that generally matches the color of the roof of the Residence. The color of pre-manufactured plastic or resin storage structures shall be limited to beige, brown, gray, or darker neutral colors.
 - j) The DRC reserves the right to not approve storage structures that it deems to be too large or oversized for the proposed Lot or location.
 - k) Low-scale moveable storage lockers that are less than five feet (5'-0") tall are recommended and encouraged for small enclosed side yard conditions.
 - l) Air-supported storage structures, fabric-type storage structures, tarp-type storage structures, and cargo containers are prohibited.
 - m) It is the Owner's responsibility to obtain all necessary permits and to adhere to all zoning, building, and fire code requirements applicable to a storage structure.
 - n) Storage structures are subject to removal at the sole cost of the Owner if located within the 5' Levee Access and Maintenance Area (LAMA) for all Perimeter Levee Lots identified in Section 3.1(a) of these Design Guidelines. (*refer to Section 3.8 of these Design Guidelines for additional explanation of the LAMA.*)
 - Refer to Section 3.8 for "*5' Levee Access and Maintenance Area (LAMA)*".
 - Refer to Section 3.12 for "*Setbacks*".
 - Refer to Section 4.2 for "*Accessory Buildings and Structures (Detached)*".
 - Refer to Section 8.15 for "*Dock Amenities and Appurtenances*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.93. Storage Tanks.

- a) Fuel tanks, water tanks, water softeners or similar storage elements must be located within the side portion of the Rear Yard Zone and may not be visible from Public View, including potential views from the Lagoon.
- b) On-site storage of gasoline, propane, or other fuels for purposes other than the operation of lawn mowers, barbecue grills, portable fire pits, portable patio heater, or yard maintenance tools is prohibited. Portable fuel containers must be properly and safely stored.
- c) Fuel storage of any type is not allowed on a Deck, Dock or anywhere within the Lagoon Zone.
 - Refer to Section 8.17 for "*Fuel and Fuel Storage at a Dock in the Lagoon Zone*".

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.94. Storm Drain Easements (SDE). See Section 3.11 for “*Storm Drain Easements (SDE)*”.

4.95. Sunrooms and Solariums.

- a) In general, sunrooms, solariums, conservatories, and similar types of enclosures that are constructed of primarily glass walls and glass roofs are not allowed, unless specifically approved otherwise by the DRC.
- b) Any addition or modification must match the character, architectural style, forms, shapes, geometry, building massing, roof slopes, materials, details, and colors of the Original Construction. The primary objective is that any Addition or modification appears seamless with the existing home.
 - Refer to Section 4.3 for “*Additions (Attached)*”.
 - Refer to Section 4.57 for “*Patio Roofs and Covered Patios*”.
 - Refer to Section 4.71 for “*Roof Decks, Roof Terraces, Verandas, and Upper Level Outdoor Living Areas*”.

4.96. Sunscreens.

- Refer to Section 4.11 for “*Awnings, Canopies and Projecting Sunshades*”.
- Refer to Section 4.70 for “*Roll Down Sunscreens / Roller Shades*”.
- Refer to Section 4.83 for “*Shade Sails*”.
- Refer to Section 4.83 for “*Shade Structures in the Rear Yard Zone*”.
- Refer to Section 4.107 for “*Window Sunscreens / Window Solar Screens*”.
- Refer to Section 8.11 for “*Sunscreens at a Dock Shade Structure*”.

4.97. Trash and Recycling Containers.

- a) Trash and recycling containers must be stored in the garage or within the side yard behind yard fences and yard gates. Trash and recycling containers shall be screened from Public View, including potential views from the Lagoon.
- b) Trash and recycling containers shall only be placed on the street for regularly scheduled pick-up dates.
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.98. Trellis.

- Refer to Section 4.62 for “*Planting Trellis*” and landscape trellis elements.
- Refer to Section 4.83 for “*Shade Structures in the Rear Yard Zone*”.

4.99. Umbrellas. Portable patio umbrellas and portable market umbrellas are permitted without the need for approval from the DRC provided that such umbrellas comply with the following design criteria.

- a) Portable umbrellas are permitted in the Rear Yard Zone; on a Deck in the Lagoon Zone; and on a Dock in the Lagoon Zone.
- b) Umbrellas are not allowed in the Front Yard Zone.
- c) The size of an umbrella shall be less than ten feet (10'-0”) tall and less than ten feet (10'-0”) wide, unless specifically approved otherwise by the DRC.
- d) A maximum of three (3) umbrellas are allowed per property, including locations on Docks and Decks, unless specifically approved otherwise by the DRC.
- e) The color of an umbrella shall be subtle and neutral tones, such as black, charcoal, gray, brown, tan, beige, cream, white, rust, navy blue and forest green.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- f) All exterior umbrellas must be maintained in an attractive manner at all times. Umbrellas that are broken, ripped, torn or unsightly must be repaired, replaced or removed immediately.
- g) For the purpose of these Design Guidelines, pre-manufactured, portable umbrellas are not considered “shade structures”.
 - Refer to Section 4.83 for "*Shade Structures*".
 - Refer to Section 7.12 for "*Other Deck Related Improvements*".
 - Refer to Section 8.15 for "*Dock Amenities and Appurtenances*".

4.100 Verandas

- Refer to Section 4.71 for "*Roof Decks, Roof Terraces, Verandas, and Upper Level Outdoor Living Areas*"

4.101. Walkways and Sidewalks.

Any modification or addition to the walkways or sidewalks within the Front Yard Zone requires the approval of the DRC prior to construction.

- a) **Public Sidewalk.** No modifications to the existing public sidewalk are allowed.
- b) **Front Walkways.**
 - i) Primary sidewalks and walkways in the Front Yard Zone that connect the front door of the home to the public sidewalk or to the driveway shall be three feet (3'-0") wide minimum and may not exceed five feet (5'-0") in width maximum, unless otherwise approved by the DRC.
 - ii) Front walkways that are located parallel to the front of the house shall be located a minimum of twenty-four inches (24") away from the front face of the house or front porch in order to provide planting space between the walkway and the house and/or front porch.
 - iii) Front walkways are allowed to extend from the public sidewalk to the curb of the street across the Neighborhood Street Frontage Zone, provided that such walkway extension does not cause the relocation of any street tree.
- c) **Side Yard Walkways.**
 - i) Side Yard Walkways located in the Front Yard Zone that connect the side yard gate to the driveway or public sidewalk may be allowed when approved by the DRC and subject to compliance with the design criteria below.
 - ii) Side Yard Walkways shall be thirty-six (36") wide preferred and forty-two inches (42") wide maximum, unless otherwise approved by the DRC.
- d) **Walkway Materials and Colors:** Approved materials and colors for walkways in the Front Yard Zone include:
 - i) Poured-in-place concrete with natural gray colors or integral neutral concrete colors; with light broom finish, exposed aggregate finish, acid etched finish, or salt finish.
 - ii) Concrete linear strips or stepping stones set in accent gravel.
 - iii) Natural flagstone, cut stone or stone pavers.
 - iv) Concrete unit pavers.
 - v) Brick pavers.
 - vi) Semi-transparent concrete stains in warm browns, tans, and light gray colors.
 - vii) The color of all walkway materials shall be subtle, neutral, and earthy tones such as: grays, browns, and beiges.
 - viii) Other materials and colors as deemed appropriate by the DRC on a case-by-case basis.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- e) **Prohibited Walkway Materials:** Prohibited walkway materials in the Front Yard Zone include:
- i) Painted finishes, opaque stains, acrylic coatings, epoxy coatings, tile, stamped concrete, pebblestone, "kool-deck", asphalt coatings, faux finishes or patterns, or other "coating-like" or "applied" materials are not allowed on any walkway in the Front Yard Zone, unless specifically approved otherwise by the DRC.
 - ii) Glossy, shiny, or reflective coatings or sealers may not be applied to any type of walkway surface in the Front Yard Zone.
 - iii) Decomposed granite, gravel, rock, earth, asphalt, and other unimproved walkway surfaces are not allowed in the Front Yard Zone, unless otherwise approved by the DRC.
- Refer to Section 6.10 for the "*Driveway, Walkway and Path Lighting*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.102. Water Features. Water features including, but not limited to: fountains, waterfalls, ponds, reflecting pools, bird baths, water cascades, and other outdoor water elements may be allowed when approved by the DRC and subject to compliance with the following design criteria:

- a) Water features shall be integral to the design of the landscape and the composition of the architecture.
 - b) Water features may be located in Front Courtyards surrounded by low walls or hedges; or in the Rear Yard Zone.
 - c) Water features are not allowed within the front setback.
 - d) Water features are not allowed on a Deck in the Lagoon Zone or on a Dock in the Lagoon Zone.
 - e) Water features shall be located a minimum of one foot (1'-0") from any side property lines.
 - f) Water features shall be limited to a maximum height of five feet (5'-0") above the adjacent finished grade. Water features located between the waterward façade of the house and the waterfront property line shall be limited to a maximum height of forty-two (42") above the adjacent finished grade.
 - g) The appearance and style of a water feature must complement the architectural style of the home, including character, colors and materials.
 - h) All water features must be equipped with recycling water systems.
 - i) All equipment related to the water feature including, but not limited to: pumps, pipes, valves, filters, power sources, electrical cords, and accessories must be fully-screened from Public View, including potential views from the Lagoon.
 - j) Below grade and below Deck water features are not allowed in the Rear Yard Zone of any Perimeter Levee Lots identified in Section 3.1(a) of these Design Guidelines.
- Refer to Section 3.1(a) for "*Perimeter Levee Lots*".
 - Refer to Section 3.15 for "*Height Limits in the Waterward Portions of the Rear Yard Zone and Deck Easement*".
 - Refer to Section 4.66 for "*Pools and Spas*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

4.103. Water Toys and Water Recreation Items in the Lagoon Zone. Water toys, water trampolines, inflatable water amenities, “water lily pads”, and any other similar types of non-motorized water recreation items that are located on the water surface of the Lagoon must be approved by the DRC prior to installation or placement; and must comply with the following design criteria.

- a) All water recreation items must be located and maintained a minimum of five feet (5’-0”) from boundaries of the defined Lagoon Zone that is associated with the Lot. Water recreation items must be properly tethered to the Dock to ensure that the items do not float into the open common waters of the Lagoon or into the Lagoon Zone of an adjacent property. Water recreation items may not impede the use of the common waters of the Lagoon; nor may they impede the use of the Lagoon Zone on a neighboring property.
 - b) The maximum size of any water recreation item shall be limited to twenty feet (20’-0”) in any horizontal dimension and a maximum height of eight feet (8’-0”) above the water surface, unless specifically approved otherwise by the DRC.
 - c) Small-scale water recreation items that are less than six feet (6’-0”) in any dimension do not require specific approval of the DRC. For example: inner tubes, personal pool floats, small air rafts, pool noodles, small water toys, and other similar small-scale water recreation items are considered small and portable; and therefore, such items do not require specific approval from the DRC provided that such items are located in the defined Lagoon Zone associated with the Lot. When in doubt, the Applicant should consult with the DRC.
 - d) Water recreation items are only allowed in the Lagoon Zone for periods of active use. If a water recreation item has not been actively used for a period of more than ten (10) days, then the water recreation item shall be properly stored in a location screened from Public View, such as in a garage or fenced side yard. For clarity, if a specific water recreation item has been approved by the DRC, the Applicant can reinstall the previously-approved water recreation item in the Lagoon Zone without the need for additional approval from the DRC for each installation.
 - e) Water recreation items shall be maintained in an attractive, well-kept and functioning condition at all times. Water recreation items that are damaged, torn, deflated, dilapidated, non-functional, or otherwise unsightly shall be removed or repaired immediately.
 - f) Water recreation items shall comply with any safety and setback standards of the manufacturer.
 - g) The DRC reserves the rights to limit and/or prohibit any water recreation item that the DRC deems to be inappropriate, in its sole discretion.
 - h) The DRC and the DCMC assume no liability of any type resulting from the installation and/or use of any water recreation item(s) that may be approved or allowed by the DRC. The DRC reviews Design Review Applications for aesthetics and not for safety compliance. The Owner shall be liable and responsible for any water recreation items.
- Refer to Section 3.6 for “Lagoon Zone”.



Examples of Water Recreation Items

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.104. Windows. Any additions, modifications or changes to the size, shape, color, materials, trim, location, quantity, or other aspects of the windows and sliding glass doors shall be approved by the DRC prior to implementation and subject to compliance with the following design criteria.

- a) In general, the size, shape, color, frames, lintel, sill, and trim of windows and sliding glass doors must be consistent with the architectural style of the Residence and the Original Construction.
- b) The approval of any such changes to windows and sliding glass doors shall be at the sole discretion of the DRC, and the DRC shall evaluate the changes on a case-by-case basis with the objective of maintaining the architectural character of the Original Construction, including, but not limited to: consistency, alignment, symmetry, organization, balance, and proportion.
- c) In general, any new or replacement windows or sliding glass doors must match the appearance of the existing windows and sliding glass doors on the home, including, but not limited to: frame style, frame color, window grids, window trims, recessed conditions, and glass type. It is not acceptable to have different types of windows on the same home.
- d) Any windows that are converted to a door, French door, or sliding glass door shall be subject to the review and discretion of the DRC on a case-by-case basis.
- e) Deletion, relocation, or modification of windows shall be subject to review and discretion of the DRC on a case-by-case basis. In many cases, the deletion or relocation of windows will not be allowed because the windows play a very important part in the architectural composition, including: symmetry, balance, proportion, order, and appearance of the home.
- f) The use of glazing with reflective or mirror-finish is not allowed. The use of colored glass or stained glass is not allowed.
- g) Changes to the windows that significantly change the appearance of the home, as determined in the sole opinion of the DRC, will not likely be approved.
 - Refer to Section 4.84 for *"Shutters"*.
 - Refer to Section 4.105 for *"Window Coverings (Interior)"*.
 - Refer to Section 4.106 for *"Window Security Devices / Window Guards / Roll Down Shutters"*.
 - Refer to Section 4.107 for *"Window Sunscreens / Window Solar Screens"*.
 - Refer to Section 4.108 for *"Window Tint or Film"*.

4.105. Window Coverings (Interior).

- a) Temporary-type interior window coverings including, but not limited to: blankets, bed sheets, towels, plastic, cardboard, paper or aluminum foil are prohibited.
- b) Reflective interior window coverings are not allowed.
 - Refer to Section 4.108 for *"Window Tint or Film"*.

4.106. Window Security Devices / Window Guards / Roll-Down Security Shutters.

- a) Exterior roll-down security devices such as metal roll-down security shutters are prohibited on all windows and exterior doors.
- b) Security devices, including, but not limited to: "burglar bars" or window guards (bars) for windows and doors are prohibited.
 - Refer to Section 4.84 for *"Shutters"*.
 - Refer to Section 4.107 for *"Window Sunscreens / Window Solar Screens"*.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.107. Window Sunscreens / Window Solar Screens. Window sunscreens may be allowed when approved by the DRC and subject to compliance with the following design criteria:

- a) The sunscreen shall be the same size as the actual window frame. Sunscreens may not overlap trim, pop outs, or recesses.
 - b) A sunscreen must cover the entire window and may not cover only a portion of the window.
 - c) The sunscreen panel must have the same decorative grid patterns as the window in which it is covering. The sunscreen must include the mullions and muntins to match the existing window. If the window behind the sunscreen does not have decorative grids, then the sunscreen is not required to have the grids.
 - d) The color of the frame of the sunscreen must be the same color as the frame of the existing window to which it is attached.
 - e) The color of the sunscreen fabric must be black, dark charcoal gray, dark brown or dark bronze. Light, white, cream, tan, beige or colorful sunscreen fabrics are not allowed.
 - f) All sunscreens shall be maintained in an attractive and well kept manner at all times. If the sunscreens become torn, ripped, broken, bent, unfastened, dilapidated, or otherwise unsightly, the Owner shall immediately remove, replace or repair the sunscreens.
- Refer to Section 4.11 for "*Awnings, Canopies and Projecting Sunshades*".
 - Refer to Section 4.70 for "*Roll Down Sunscreens / Roller Shades*".
 - Refer to Section 4.105 for "*Window Coverings (Interior)*".



YES (Acceptable)

- Black sunscreen fabric looks like dark glass.
- Sunscreen frame that matches the color of the window frame.
- Sunscreen grids that match the pattern of the decorative grids on the window behind the sunscreen.
- The size of the sunscreen is the same size as the aluminum window frame behind it.



NO (Not Acceptable)

- Wrong color of screen fabric. It looks like someone "painted over" the windows.
- It is missing the decorative window grids that are on the window behind it.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

4.108. Window Tint or Film.

- a) Window tint and window films that are specifically designed for residential windows are allowed on the interior face of the glass of a window, door, or sliding glass door.
- b) Highly reflective or mirror-like window tints or films with a visible light reflection rate of twenty percent (20%) or greater are not permitted.
- c) The Owner is required to maintain window tints or films in an attractive and well-kept manner at all times. If a window tint or film peels, delaminates, or bubbles, the Owner shall immediately remove or replace the tint or film material.

Section 5

LANDSCAPE STANDARDS

5.1. Landscape Design Philosophy.

The vision for the landscaping within Delta Coves is based on an understanding of the preferred casual outdoor lifestyle and natural, low-maintenance, landscape setting that makes living at Delta Coves a unique experience. The overall community landscape is designed to be respectful of the historic precedent landscapes of the Delta region while blending with individual landscapes on residential lots, neighborhood streets, and waterfront edges to create a unified overall community landscape design. The overall intent is that the landscape designs for the individual lots are cohesive and integrated with the overall community landscape character; and that individual landscapes do not “stand out” or contrast against the overall community landscape theme.



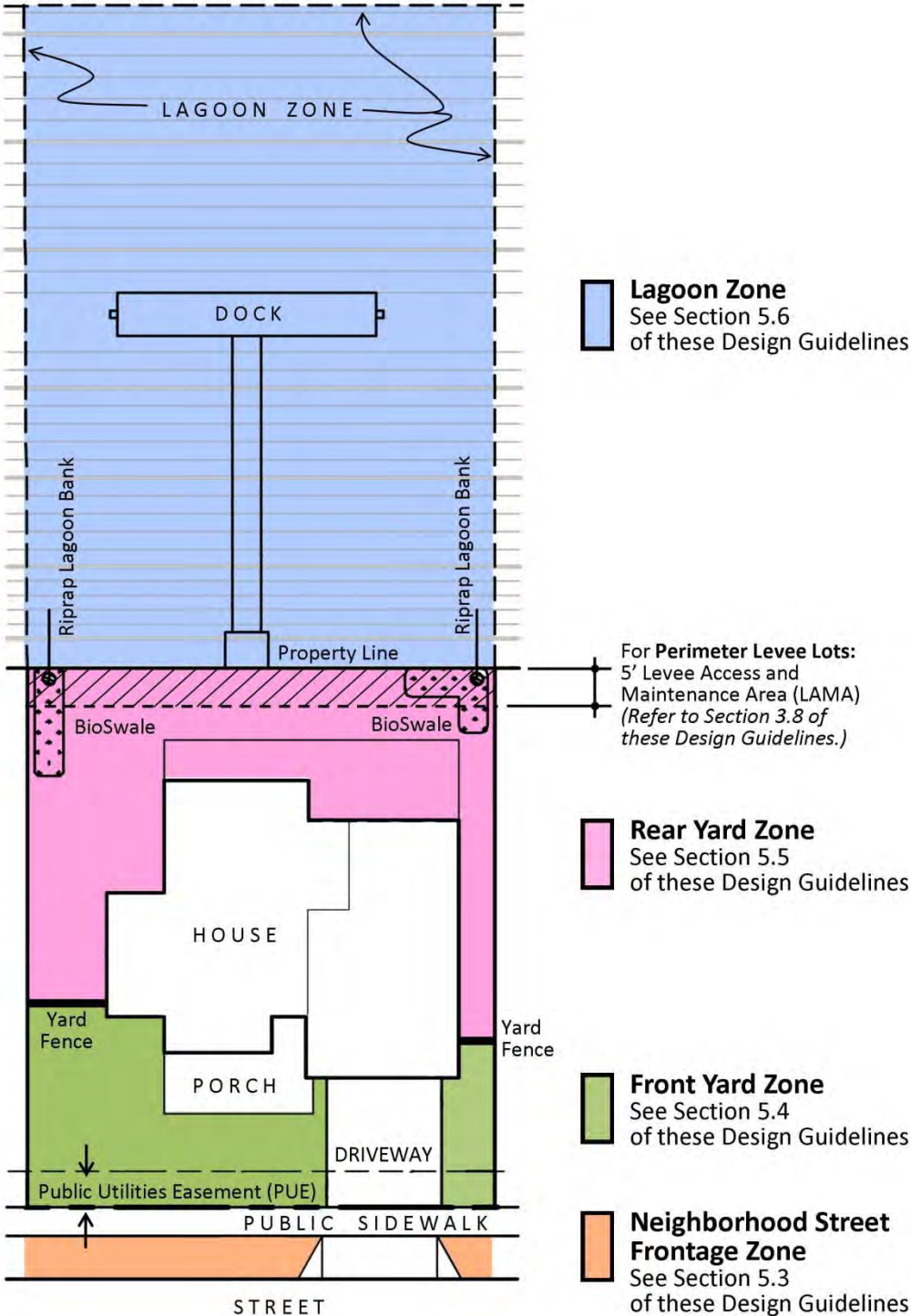
5.2. Residential Landscape Zones. Residential lots have been divided into specified Residential Landscape Zones within each lot. Each Residential Landscape Zone has design criteria established to address the specific landscape requirements for a particular zone. The Residential Landscape Zones are:

- a) **Neighborhood Street Frontage Zone.** *(See Section 5.3 of these Design Guidelines)*
- b) **Front Yard Zone.** *(See Section 5.4 of these Design Guidelines)*
- c) **Rear Yard Zone.** *(See Section 5.5 of these Design Guidelines)*
- d) **Lagoon Zone.** *(See Section 5.6 of these Design Guidelines)*

The location of each Residential Landscape Zone is generally illustrated on the drawing below; and each Residential Landscape Zone is explained in greater detail in the following sections.

- Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

Residential Landscape Zones



All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

5.3. Neighborhood Street Frontage Zone.

- a) The Neighborhood Street Frontage Zone (as illustrated in Section 5.2 above) is the landscape area between the public sidewalk and the street located within the right-of-way of the street at the front of the Lot. This area is intended to provide shade; encourage a walkable and active neighborhood streetscape; and provide a high level of visual continuity. The landscape strip between the public sidewalk and the street in the Neighborhood Street Frontage Zone is sometimes referred to as the “parkway” or the “parkway zone”. The following standards apply to the landscape in the Neighborhood Street Frontage Zone:
- b) The required landscape character, street trees, plant species and plant densities in the Neighborhood Street Frontage Zone have been predetermined by the Master Developer and are documented on the “*Street Tree/Parkway Master Plan*” for Delta Coves. The objective is that the landscape in this zone provides continuity and consistency between all residential lots while providing a different theme for each street or cul-de-sac. In general, the DRC will not allow an Owner to change the predetermined landscape concepts in the Neighborhood Street Frontage Zone. A copy of the “*Street Tree/Parkway Master Plan*” for Delta Coves is available for viewing at the offices of the DCMC or online at www.deltacovesresidents.com.
- c) Street Trees:
 - i) Street trees are required in the Neighborhood Street Frontage Zone to provide shade and wind protection; and to encourage a walkable and active neighborhood streetscape.
 - ii) Street trees in the Neighborhood Street Frontage Zone are initially installed by the Original Homebuilder as part of the Original Construction, based on the “*Street Tree/Parkway Master Plan*” created by the Master Developer.
 - iii) Street trees in the Neighborhood Street Frontage Zone shall be maintained by the Owner in perpetuity in the same locations and same spacing as initially installed as part of the Original Construction, unless specifically approved otherwise by the DRC. Street trees shall be installed and maintained at approximately thirty feet (30'-0”) on center with a minimum of one (1) street tree per Lot. If a street tree(s) dies or needs to be replaced, the replacement tree shall be in the same location, quantity and species in order to maintain the intended appearance of the Neighborhood Street Frontage Zone as shown on the “*Street Tree/Parkway Master Plan*” for Delta Coves.
 - iv) Each street and each cul-de-sac in Delta Coves have been assigned a specific species for the street trees that are located in the Neighborhood Street Frontage Zone. Therefore, if a street tree needs to be relocated or replaced, the species of the replacement tree shall comply with the “*Street Tree/Parkway Master Plan*”. A complete copy of the “*Street Tree/Parkway Master Plan*” including specifications is available for viewing at the offices of the DCMC.
 - v) If a street tree needs to be replaced, the replacement tree shall be a minimum 24” box size at the time of installation.
- d) Shrubs and Ground Covers:
 - i) Low-scale shrubs and groundcover plants in the Neighborhood Street Frontage Zone are initially installed by the Original Homebuilder as part of the Original Construction, based on the “*Street Tree/Parkway Master Plan*” created by the Master Developer.
 - ii) Low-scale shrubs and groundcover plants within the Neighborhood Street Frontage Zone shall provide full coverage of the landscape area with a minimum plant density of one (1) plant per eighteen (18) square feet. The groundcover plants should be spaced no more than three feet (3'-0”) on center.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- iii) Each street and each cul-de-sac in Delta Coves have been assigned a specific groundcover plant species for use in the landscape area between the public sidewalk and the street. Therefore, if a shrub or groundcover plants needs to be relocated or replaced, the species of the replacement plant shall comply with the *"Street Tree/Parkway Master Plan"*. A complete copy of the *"Street Tree/Parkway Master Plan"* including specifications is available for viewing at the offices of the DCMC.
- iv) If shrubs or ground cover plants need to be replaced, the minimum size of the replacement plants shall be one-gallon in size at the time of installation.
- e) All low shrubs and groundcover plants used in the Neighborhood Street Frontage Zone shall be maintained by the Owner with a maximum height of thirty inches (30") above the adjacent finished grade in order to maintain the required site visibility along the streets, sidewalks and driveways.
- f) Natural grass and Artificial Turf are not allowed in the Neighborhood Street Frontage Zone.
- g) The ground plane material in the Neighborhood Street Frontage Zone shall be either:
 - i) 3" layer of "Recology Recycled Decorative Mulch" in 'Light Brown' color to match the landscape mulch used as part of the Original Construction and throughout the Delta Coves community; or
 - ii) 2" layer of 3/8" pea gravel in a 'warm brown' blend of colors. Refer to Section 5.24 of these Design Guidelines for further information regarding the specifications for the only acceptable landscape gravel for use in the Neighborhood Street Frontage Zone.
- h) All plantings and trees within the Neighborhood Street Frontage Zone shall be irrigated by the adjacent Owner with a fully-automated, underground, drip irrigation system fitted with a rain sensor. It is the Owner's responsibility to irrigate the trees and plants in the Neighborhood Street Frontage Zone in accordance with acceptable community standards.
- i) Landscape lighting is not allowed in the Neighborhood Street Frontage Zone.
- j) Although the Neighborhood Street Frontage Zone is located within the right-of-way of the street, the maintenance, care, replacement, and irrigation of all landscaping in the Neighborhood Street Frontage Zone are the responsibility of the adjacent Owner, unless otherwise addressed in the community's governing documents. Trees, plantings, mulch, landscape gravel, and irrigation shall be maintained on a regular basis by the Owner and immediately replaced by the Owner in the event of failure.
- k) Any modifications, changes or additions to the landscape in the Neighborhood Street Frontage Zone must be approved by the DRC prior to installation or modification.
 - Refer to Section 5.24 for *"Landscape Gravel / Mineral Ground Cover"*.
 - Refer to Section 5.40 for *"Landscape Maintenance"*.
 - Refer to the *"Street Tree/Parkway Master Plan"* available for viewing at the DCMC offices.

Street Tree and Groundcover Plant Species in the Neighborhood Street Frontage Zone
 Excerpt from the “Street Tree / Parkway Master Plan” for Delta Coves

STREET NAME	STREET TREE SPECIES	GROUNDCOVER PLANT SPECIES
Navigator's Place	<i>Pistacia chinensis</i> 'Keith Davey' Keith Davey Pistache	<i>Lantana montevidensis</i> Trailing Lantana
Isle Place		
Point Place		
Slough Place		
Sea Gate Place		
Seaward Court		
Sea Drift Drive	<i>Chilopsis linearis</i> 'Monhews' Timeless Beauty Desert Willow	<i>Juniperus h.</i> 'Blue Chip' Blue Chip Juniper
Sea Meadow Court		
Edgewater Court		
Halcyon Place	<i>Arbutus x.</i> 'Marina' Strawberry Tree	<i>Rosmarinus o.</i> "Huntington Carpet" Trailing Rosemary
Channel Place		
Shoreline Place		
Grey Whale Place		
Waterside Place		
Delta Coves Drive	<i>Lophostemon confertus</i> Brisbane Box	<i>Cotoneaster d.</i> 'Lowfast' Bearberry Cotoneaster
Windsweep Road		

Each street and each cul-de-sac in Delta Coves have been assigned a specific street tree species and specific groundcover plant species for use in the landscape area between the public sidewalk and the street as shown on the “Street Tree/Parkway Master Plan”. A copy of the complete “Street Tree/Parkway Master Plan” including specifications is available for viewing at the offices of the DCMC or online at www.deltacovesresidents.com.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

5.4. Front Yard Zone.

- a) The Front Yard Zone (as illustrated in Section 5.2 above) is the landscape area between the home and the front property line including any areas on the side of the home between the yard fences and the front property line.
- b) Initial landscaping in the Front Yard Zone is installed by the Original Homebuilder as part of the Original Construction based on landscape plans that are approved by the Master Developer.
- c) Any modifications, changes or additions to the landscape in the Front Yard Zone must be approved by the DRC prior to installation or modification.
- d) In general, the landscape design of the Front Yard Zone should have a well-designed simplicity with order, organization, hierarchy and pattern. Landscaping in the Front Yard Zone that is random, arbitrary, or a "tossed salad" will not be allowed. Bold, dramatic and contrasting landscape designs are not allowed in the Front Yard Zone. While individuality is encouraged, the Front Yard Zone should be thought of in the larger neighborhood context and not just for the individual lot. The DRC reserve the right to not approve any landscape design that it deems in its sole discretion to be inappropriate.
- e) Front Yard Trees:
 - i) A minimum of one (1) tree is required in the Front Yard Zone for each residential Lot, unless specifically approved otherwise by the DRC. The required tree shall be located in front of the front façade of the home within the landscape area between the front of the house and the public sidewalk. For clarity, trees in the Neighborhood Street Frontage Zone do not count toward fulfilling the requirements for trees in the Front Yard Zone.
 - ii) Trees in the Front Yard Zone shall be planted a minimum of three feet (3'-0") from any property line, building, fence, site wall, street, curb, driveway, walkway or public sidewalk, unless specifically approved otherwise by the DRC.
 - iii) The minimum size of the required tree in the Front Yard Zone shall be fifteen-gallon size at time of initial installation.
 - iv) The species of tree(s) shall be selected from the list of "Trees" in the Approved Plant List in Appendix D of these Design Guidelines.
- f) Front Yard Plantings:
 - i) The quantity and density of plants, bushes, shrubs, groundcovers and accents in the Front Yard Zone shall provide complete coverage of all landscape areas. A minimum of one (1) plant per twenty-five square feet (25 s.f.) shall be provided for all landscape areas in the Front Yard Zone. Plants shall be distributed and arranged to avoid bare areas.
 - ii) Minimum required plantings include a combination of low groundcovers, grasses, perennials and smaller shrubs, selected from the Approved Plant List in Appendix D of these Design Guidelines.
 - iii) Plantings shall use different sizes, colors and textures for an attractive and orderly landscape composition. Plants shall be appropriately distributed across the entire Front Yard Zone in order to avoid bare or sparse areas.
 - iv) Plantings shall be arranged in massings, using triangular spacing and organic arrangements.
 - v) Plant sizes shall be a mix of sizes with approximately fifteen percent (15%) five-gallon size and approximately eighty-five percent (85%) one-gallon size at time of initial installation.
 - vi) Low plantings shall be approximately 12" to 30" in height at maturity; and shall not be "balled" or hard-pruned.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- vii) Screen plantings or hedges are encouraged along the lot frontage behind the public sidewalk and shall consist of a tight, uniform planting.
- viii) Screen plantings may be informal massings or formal hedges. Low fences or garden walls (maximum of three feet six inches (3'-6") in height) may be used instead of screen plantings but shall be softened with vines and shrubs to provide fifty percent (50%) vegetative cover of the hard improvements.
- ix) Hedges shall be a maximum of 3'-0" to 4'-0" in height and shall be spaced appropriately and touching at time of installation. Typically, the appropriate spacing of plants in order to create a hedge is 1/3 of the mature spread of the shrub.
- g) All plant species in the Front Yard Zone must be selected from the Approved Plant List in Appendix D of these Design Guidelines, unless otherwise approved by the DRC.
- h) Proposed plantings and landscape improvements that are located within the Public Utility Easement must comply with the regulations and restrictions of the Public Utility Easement.
- i) The ground plane material in the Front Yard Zone shall be either:
 - i) Landscape Mulch, as outlined in Section 5.27 of these Design Guidelines; or,
 - ii) Landscape Gravel, as outlined in Section 5.24 of these Design Guidelines.
- j) Maintenance, care, replacement, and irrigation of all landscaping in the Front Yard Zone are the responsibility of the Owner.
- k) Refer to Section 4 of the Design Guidelines for specific design criteria and restrictions for any applicable hard improvements in the Front Yard Zone, such as walkways, fences, and driveways.
- l) Refer to Section 6 of the Design Guidelines for specific design criteria and restrictions for Outdoor Lighting, including Landscape Lighting.
 - Refer to Appendix "D" for the "Approved Plant List".
 - Refer to Appendix "E" for the "Prohibited Plant List".
 - Refer to Section 5.10 for "Artificial Turf / Synthetic Grass".
 - Refer to Section 5.21 for "Irrigation".
 - Refer to Section 5.24 for "Landscape Gravel / Mineral Ground Cover".
 - Refer to Section 5.27 for "Mulch".
 - Refer to Section 5.34 for "Turf, Lawns and Grass (Natural)".
 - Refer to Section 5.40 for "Landscape Maintenance".
 - Refer to Section 6.11 for "Landscape Lighting".

5.5. Rear Yard Zone.

- a) The Rear Yard Zone (as illustrated in Section 5.2 above) is the portion of the Lot located behind the yard fence and orients to the water. The Rear Yard Zone is the place where people will spend most of their time. A strong, unified landscape character is required for these high visibility areas that potentially impact views of neighboring lots and homes sited directly across the waterway. The Rear Yard Zone is in effect, the "front yard" in a water-oriented community and accordingly, the landscape guidelines provides standards to minimize the impact to water views and to create a landscape character that softens and unifies the waterfront edges at Delta Coves. The following landscape standards apply to the Rear Yard Zone:
- b) Any modifications, changes or additions to the landscape in the Rear Yard Zone must be approved by the DRC prior to installation or modification.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- c) In general, the landscape design in the Rear Yard Zone is allowed greater flexibility than the Front Yard Zone. Nonetheless, bold, dramatic and highly-contrasting landscape designs may not be allowed if deemed to be incompatible with the overall community character or deemed to have a negative impact on the neighboring properties, as determined in the sole discretion of the DRC. While individuality is encouraged, the DRC reserve the right to not approve any landscape design that it deems in its sole discretion to be inappropriate.
- d) Rear Yard Trees:
- i) Trees are allowed but not required in the Rear Yard Zone. If trees are desired by the Owner, the trees in the Rear Yard Zone should be strategically placed to minimize the potential impact to the views of the water from the home and from neighboring properties.
 - ii) Trees in the Rear Yard Zone shall be planted a minimum of ten feet (10'-0") from any building; a minimum of four feet (4'-0") from any side property line; and a minimum of ten feet (10'-0") from any waterfront property line.
 - iii) Trees are not allowed to be planted within the Bio-Swales.
 - iv) Fruit-bearing and nut-bearing trees are not allowed in the Rear Yard Zone of a Perimeter Levee Lot (except for dwarf varieties in raised planters and pots.) Refer to Section 3.1(a) for the definition of a Perimeter Levee Lot.
 - v) The species of trees in the Rear Yard Zone shall be selected from the list of Trees in the Approved Plant List in Appendix D of these Design Guidelines. Trees shall be well-maintained, introducing pleasant shade without aggressive roots or messy litter.
 - vi) All trees require irrigation with an automated, underground, drip irrigation system to provide deep watering and ensure development of deep rooting systems for the trees.
- e) Rear Yard Plantings:
- i) Shrub screen planting along waterfront property line(s) is encouraged for privacy and wind protection.
 - ii) Shrub screen planting may not extend beyond the waterfront property line; nor encroach into the Lagoon Zone.
 - iii) All plants in the portion of the Rear Yard Zone between the waterward façade of the house and a waterfront property line shall be maintained at a maximum height of four feet (4'-0") above the adjacent finished grade in order to minimize potential impact to the water views from the Lot and adjacent lots.
- REMINDER:**
All plants in the portion of the Rear Yard Zone between the waterward façade of the house and a waterfront property line shall be maintained at a height of 4'-0" or less.
- f) All plant species in the Rear Yard Zone shall be selected from the Approved Plant List in Appendix D of these Design Guidelines, unless otherwise approved by the DRC.
- g) The initial landscape in the Rear Yard Zone shall be installed and completed within six (6) months of the date of the initial closing of the home. (For the purpose of these Design Guidelines, the term "initial landscape" means the first or initial landscape improvements in the Rear Yard Zone that transform the rear yard from unfinished dirt and sand to improved landscape and hardscape surfaces that will deter dust, erosion and weeds.) Refer to Section 5.39 for further explanation regarding the minimum requirements, deadlines, and timing of improvements in the Rear Yard Zone.
- h) Maintenance, care, replacement and irrigation of all landscaping in the Rear Yard Zone are the responsibility of the Owner.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- i) For Perimeter Levee Lots (as defined in Section 3.1(a) of the Design Guidelines), a 5' Levee Access and Maintenance Area (LAMA) (as defined in Section 3.8 of the Design Guidelines) is located across the portion of the Rear Yard Zone adjacent to the Lagoon edge. Any landscape improvements within the 5' Levee Access and Maintenance Area (LAMA) are subject to conditions and restrictions of the easement as established by BIMID. Any improvements in the 5' Levee Access and Maintenance Area (LAMA) shall be designed and constructed to facilitate periodic levee inspections and replenishment of rock slope protection by BIMID. Any costs associated with any removal, repairs and/or replacement of any landscape improvements in the 5' Levee Access and Maintenance Area (LAMA) as required by BIMID are at the sole expense of the Owner.
- j) Refer to Section 4 of the Design Guidelines for specific design criteria and restrictions for any applicable hard improvements in the Rear Yard Zone.
- k) Refer to Section 6 of the Design Guidelines for specific design criteria and restrictions for Outdoor Lighting, including Landscape Lighting.
- l) Refer to Section 7 of the Design Guidelines for specific design criteria and restrictions for Decks in the Lagoon Zone.
- Refer to Appendix D for the "Approved Plant List".
 - Refer to Appendix E for the "Prohibited Plant List".
 - Refer to Section 5.10 for "Artificial Turf / Synthetic Grass".
 - Refer to Section 5.21 for "Irrigation".
 - Refer to Section 5.24 for "Landscape Gravel / Mineral Ground Cover".
 - Refer to Section 5.27 for "Mulch".
 - Refer to Section 5.34 for "Turf, Lawns and Grass (Natural)".
 - Refer to Section 5.39 for "Timing and Schedule for Installation of Landscape Improvements".
 - Refer to Section 5.40 for "Landscape Maintenance".
 - Refer to Section 6.11 for "Landscape Lighting".
 - Refer to Section 7 for "Design Standards for Decks in the Deck Easement in the Lagoon Zone".

REFERENCE:

*To determine if your lot is a **Perimeter Levee Lot**, refer to the list in Section 3.1(a) of the Design Guidelines.*

5.6. Lagoon Zone.

- a) The Lagoon Zone (as illustrated in Section 5.2 above) is the area defined by the Lagoon Zone for each Lot.
- b) Landscape, plants, grasses, weeds, or vegetation of any type are not allowed to be planted, installed, grown, or remain within the riprap bank of the Lagoon or within the waters within the Lagoon Zone associated with each Lot.
- c) The Owner is responsible to maintain the riprap bank and water area within their associated Lagoon Zone free of all plants and weeds at all times.
- Refer to Section 3.6 for "Lagoon Zone".
 - Refer to Section 5.41 for "Maintenance within the Lagoon Zone".

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

5.7. Bio-Swales.

- a) Bio-Swales have been constructed by the Original Homebuilder or the Master Developer at the waterfront corners of each residential Lot. The Bio-Swales perform a very important purpose to collect storm water drainage and run off from the lot into a low hollow that naturally filters the storm water and drainage before it exits the property through the existing drainage pipes and into the Lagoon. These Bio-Swales help to prevent contaminants and siltation from entering the Lagoon.
- b) The quantity, location, configuration and size of the Bio-Swales are typically illustrated on the Site Plan or Plot Plan available from the Original Homebuilder.
- c) Storm water runoff from the rear yard improvements, as well as from gutters, downspouts and area drains, shall be directed into the Bio-Swales so that urban contaminants in the storm water runoff from roofs, patios and yard areas can be filtered by the Bio-Swales before being discharged into the Lagoon.
- d) Each Owner must retain and maintain the existing Bio-Swales and associated plants in order for the Bio-Swale to continue to function as required by the Master Drainage Plan for Delta Coves. The Bio-Swales may not be removed, graded, devegetated, or covered with any type of impervious surface.
- e) An Owner may not cause modifications to the Bio-Swales that modify its size, function, engineering, purpose, or capacity, unless specifically approved otherwise by the DRC. Changes or modifications to the Bio-Swale may be allowed by the DRC subject to proper design by a professional Civil Engineer licensed to practice in the State of California; subject to compliance with the Drainage Master Plan for Delta Coves; and subject to approval by the County.
- f) Trees may not be planted in a Bio-Swale.
- g) Plants allowed to be installed and maintained in the Bio-Swales shall be limited to the following plant species listed on the table below. These plant species have been specifically designated to maintain and enhance the function of the Bio-Swale.
- h) The ground plane of the Bio-Swale may be covered with organic landscape mulch or landscape gravel. The use of landscape gravel (in lieu of organic mulch) may not cause reduction in the permeability of the soil in the Bio-Swale nor changes in the established drainage patterns.
- i) Fertilizer, herbicides, and pesticides should not be applied to the plants and landscape areas within the Bio-Swales.
 - Refer to Section 4.25 for "*Drainage*".
 - Refer to Section 5.24 for "*Landscape Gravel / Mineral Ground Cover*".
 - Refer to Section 5.27 for "*Mulch*".

Plant Species Allowed in the Bio-Swales

BOTANICAL NAME	COMMON NAME
<i>Achillea millefolium</i>	Common Yarrow
<i>Arctostaphylos uvaursi</i>	Kinnick-Kinnick
<i>Bouteloua gracilis</i>	Blue Grama
<i>Carex divulsa</i>	Berkeley Sedge
<i>Erigeron glaucus</i>	Seaside Daisy
<i>Festuca californica</i>	California Fescue
<i>Festuca idahoensis</i>	Idaho Fescue
<i>Festuca rubra</i>	Red Fescue
<i>Festuca rubra 'molate'</i>	Molate Fescue
<i>Gazania spp.</i>	Treasure Flower
<i>Juncus patens</i>	Blue Rush
<i>Lavendula spp.</i>	Lavender
<i>Mahonia repens</i>	Creeping Oregon Grape
<i>Mimulus aurantiacus</i>	Common Monkeyflower
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Romarinus officinalis</i>	Rosemary
<i>Salvia clevelandii</i>	Cleveland Sage
<i>Stachys byzantine</i>	Lamb's Ears

These are the only plant species allowed in the Bio-Swales at this time.

5.8. Approved Plant List. - Refer to Appendix D

- a) All plant species used, installed, and/or maintained on a residential property shall be selected from the Approved Plant List in Appendix D of these Design Guidelines, unless otherwise approved by the DRC.
- b) The Approved Plant List in Appendix D is arranged by species type: trees, shrubs, groundcovers, grasses, and vines.
- c) Because it is difficult to list every acceptable plant species, the DRC will consider other plant species on a case-by-case basis. When requesting approval of a plant species not on the Approved Plant List, the Applicant must provide detailed information regarding such proposed plant, including: a color photograph, species name, growth characteristics, mature size, water use, and other pertinent information as may be required by the DRC. The DRC reserves the right to not approve any plant species that, in their sole discretion, will not be compatible with the Community image or is not beneficial to the environment.
- d) Plant species identified on the Approved Plant List in Appendix D are subject to change. Please contact the DRC for the most current version of the Approved Plant List.
 - Refer to Appendix D for the "Approved Plant List".
 - Refer to Appendix E for the "Prohibited Plant List".

5.9. Prohibited Plant List. - Refer to Appendix E.

- a) Plant species identified on the Prohibited Plant List may not be used in any portion of any residential Lot.
- b) Refer to Appendix E for the Prohibited Plant List.
- c) Consult with the DRC for any updates to the Prohibited Plant List.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

5.10. Artificial Turf / Synthetic Grass.

5.10.1. General.

- a) High-quality and natural-looking Artificial Turf and synthetic grass are acceptable landscape options to provide the appearance of a well-kept lawn without the cost of irrigation and routine maintenance. The quality and appearance of Artificial Turf has come a long way in recent years and many manufacturers have developed synthetic turf products that closely resemble the appearance of real grass that is common in this area.
- b) Any application or request to use Artificial Turf on any portion of a residential Lot must comply with the criteria and design standards noted below. All applications and requests to install Artificial Turf must be approved by the DRC in writing prior to installation.

5.10.2. Artificial Turf in the Front Yard Zone.

- a) A maximum of sixty five percent (65%) of the total landscape area in the Front Yard Zone may be Artificial Turf. (For clarity, the landscape area does not include any driveways, walkways or other paved surfaces.) The Front Yard Zone must have at least thirty five (35%) of the total landscape area as trees, shrubs, groundcovers and plants in order to create an attractive and appropriate landscape composition in the Front Yard Zone.
- b) The shape, configuration, layout and appearance of Artificial Turf in the Front Yard Zone shall be designed to resemble a traditional natural grass lawn. In general, the shape and pattern used for Artificial Turf in the Front Yard Zone shall be rectangular, square or simple shapes. No random or curvilinear-shaped areas of Artificial Turf are allowed, unless otherwise approved by the DRC. No "islands" of Artificial Turf are allowed in the Front Yard Zone. No layouts that look like a "putting green" are allowed in the Front Yard Zone. In general, Artificial Turf should extend to the edge of the public sidewalk and to the edge of the driveway to avoid creating an "island" of Artificial Turf that is surrounded by plants and landscape mulch. The objective is that the layout of the Artificial Turf in the Front Yard Zone has the characteristics of a natural grass lawn. The DRC reserves all rights to determine, in their sole discretion, what are appropriate shapes and layouts of Artificial Turf in the Front Yard Zone.
- c) Very small "patches" of Artificial Turf will not likely be approved in the Front Yard Zone. The smallest size for an individual panel of Artificial Turf in the Front Yard Zone is fifty square feet (50 s.f.) in area and no single dimension may be less than five feet (5'-0") wide, unless otherwise approved by the DRC.
- d) Artificial Turf in the Front Yard Zone must be placed a minimum of thirty inches (30") away from the exterior of any building wall, Front Porch, site wall, or yard fence. This setback will allow the placement of natural shrubs, foundation planting or screen planting against the base of the structure or fence.
- e) Both Artificial Turf and natural grass are not allowed in the same Front Yard on a single Lot.
- f) The Artificial Turf shall be installed over an even plane. No mounding, berming, or contouring of the grade below the Artificial Turf is allowed. The DRC, at its sole discretion, may prohibit Artificial Turf in areas that slope greater than five percent (5%).
- g) Artificial Turf in the Front Yard Zone must be surrounded by a permanent masonry header, landscape border, or concrete curbing that is a minimum of four inches (4") wide and a maximum of eight inches (8") wide. (Brick headers and concrete curbing are generally acceptable; metal

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

edging and bender boards are not acceptable in the Front Yard Zone.) The top of the header, border, or curbing shall be set flush with the top of the Artificial Turf and the adjacent planting areas. No "scuppers" or drainage dips are allowed in headers, borders, and curbing around Artificial Turf in the Front Yard Zone.

- h) If a tree occurs within a panel of Artificial Turf, the tree shall be surrounded by a landscape header or border that is thirty inches (30") diameter [or square] minimum and forty-two inches (42") diameter [or square] maximum around the base of the tree. Artificial Turf is not allowed to extend to the trunk of the tree due to the fact that the tree trunk will grow over time. When possible, it is best to not place trees within a panel of Artificial Turf.
- i) Artificial Turf is not allowed in the Neighborhood Street Frontage Zone between the public sidewalk and the street.
- j) The use of natural trees, shrubs, and groundcover plants within the Front Yard Zone will continue to be required in accordance with other sections of the Design Guidelines. This is particularly important in order to give the Artificial Turf a natural setting. The arrangement of natural trees, shrubs, and groundcover plants shall be in accordance with the Design Guidelines, including the minimum plant density requirements. All planting areas shall be landscaped with a minimum of one (1) plant per twenty-five square feet (25 s.f.) in accordance with Section 5.4(g)(i) of the Design Guidelines. When converting an existing landscape to include Artificial Turf, it will often be necessary to add, replace, or enhance the rest of the plants in the Front Yard Zone in order to comply with the Design Guidelines.

5.10.3. Artificial Turf in the Rear Yard Zone.

- a) The shape, configuration, layout and appearance of Artificial Turf in the Rear Yard Zone shall be designed to resemble a traditional natural grass lawn. The DRC reserves all rights to determine, in their sole opinion, what are appropriate shapes and layouts of Artificial Turf in the Rear Yard Zone.
- b) "Putting Greens" are only allowed in the Rear Yard Zone. The Artificial Turf material used to create a Putting Green in the Rear Yard Zone is not required to comply with the criteria in Section 5.10.4 below.
- c) Artificial Turf is not allowed to encroach beyond the property line and into the Lagoon Zone.
- d) Artificial Turf in the Rear Yard Zone must be separated from the riprap of the Lagoon and from the edge of the Bio-Swales by a permanent and hard landscape border such as: paver border, extruded concrete curbing, composite bender board, or steel edging, unless approved otherwise by the DRC.


5.10.4. Appearance and Material Specifications for Artificial Turf.

(Applicable to both the Front Yard Zone and the Rear Yard Zone.)

- a) The Artificial Turf product or material must have the appearance of real grass, as determined in the sole discretion of the DRC, including but not limited to: color, color variation, reflectivity, texture, coarseness, size of artificial grass blades, and top dressing material.
- b) Artificial Turf must include a significant amount of "brown thatch" in order to give the Artificial Turf a natural appearance similar to real grass.



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- c) Artificial Turf must be made of at least two (2) different sized and shaped grass blade fiber strands (in addition to the brown thatch fiber strands) in order to provide the natural variety of grass blades.
- d) The primary yarns used for the artificial grass blades shall be "M", "U", "V", "W", "C" or similar fiber cross sections to ensure that the fibers have a natural grass appearance and do not compact. Flat fiber cross sections are not allowed for primary blade fibers.
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- e) Artificial Turf must have a minimum "face weight" of seventy-five ounces (75 oz) per square yard, as defined by industry standards. For clarity, this requirement is for "face weight" and not for "total weight". Specifications from the Artificial Turf manufacturer or supplier must be submitted with the Design Review Application to verify acceptable face weight.
- f) The "pile height", which is the height of the artificial grass blades, shall be a minimum of one-and-three-quarter inch (1¾") and a maximum of two inches (2") in height. Specifications from the Artificial Turf manufacturer or supplier must be submitted with the Design Review Application to verify acceptable pile height.
- g) The Artificial Turf product must have a minimum ten (10) year warranty from the manufacturer. Specifications from the Artificial Turf manufacturer or supplier must be submitted with the Design Review Application to verify acceptable warranty.
- h) If more than one panel of Artificial Turf is proposed on a single lot, the "grain" or the "directionality of the fibers" shall be placed in the same orientation so that the different Artificial Turf panels appear the same when viewed from any vantage point.
- i) Granular fill material is required for all Artificial Turf in order to keep the grass fibers standing upright and vertical. The color of any granular fill material shall be such that it provides the appearance of natural grass.
- j) Artificial Turf must be installed by a professional, qualified, and experienced contractor. Owners and Do-it-Yourselfers are not allowed to install Artificial Turf.

5.10.5. Maintenance of Artificial Turf.

- a) The Artificial Turf must be maintained in a manner that retains its original appearance at the time of initial installation. If the Artificial Turf were to rip, ravel, separate, or if the edges become exposed; or if the Artificial Turf were to become "flattened" or "matted"; the Artificial Turf must be repaired to match the appearance at the time of original installation. If the Artificial Turf were to significantly fade or discolor, even for only a portion of the Artificial Turf, then the Artificial Turf must be replaced. Any required repair or replacement as a result of this paragraph shall be completed within thirty (30) days of observing the issue, or within thirty (30) days of receipt of notice from the DRC or the DCMC.
- b) The Artificial Turf must be periodically brushed and maintained to remove leaves and other debris in order to keep the Artificial Turf looking similar to natural grass.

5.10.6. Submittal Requirements for Artificial Turf.

- a) The Applicant must provide a clear, accurate, detailed and easy-to-understand site plan or landscape plan that delineates and labels the location and extents of the proposed Artificial Turf and landscape borders.
 - b) The Applicant shall provide specifications, cut sheets, brochures and photographs to explain the appearance, color, face weight, pile height, warranty, manufacturer, and product name of the proposed Artificial Turf material.
 - c) The Applicant shall provide several clear and legible color photographs of the property that clearly show all areas that will receive Artificial Turf.
- Refer to Section 5.2. for "*Residential Landscape Zones*".

5.11. Artificial Vegetation.

- a) Artificial vegetation of any type (except for Artificial Turf as allowed in Section 5.10 of these Design Guidelines) is limited locations within the Rear Yard Zone, unless specifically approved otherwise by the DRC.
 - b) Artificial Vegetation that is located on a Front Porch or within an enclosed front entry courtyard is acceptable, provided the quantity and size is not excessive as determined in the sole discretion of the DRC. To qualify as being "on a Front Porch", the Artificial Vegetation must be located behind the line of the structural columns, posts, or supports of the Front Porch or covered front entry.
 - c) If allowed, Artificial Vegetation must be maintained in an attractive and well-kept appearance at all times. If the Artificial Vegetation becomes significantly faded, dilapidated, or otherwise unsightly, the Owner shall remove or replace the Artificial Vegetation immediately.
- Refer to Section 5.10. for "*Artificial Turf / Synthetic Grass*".

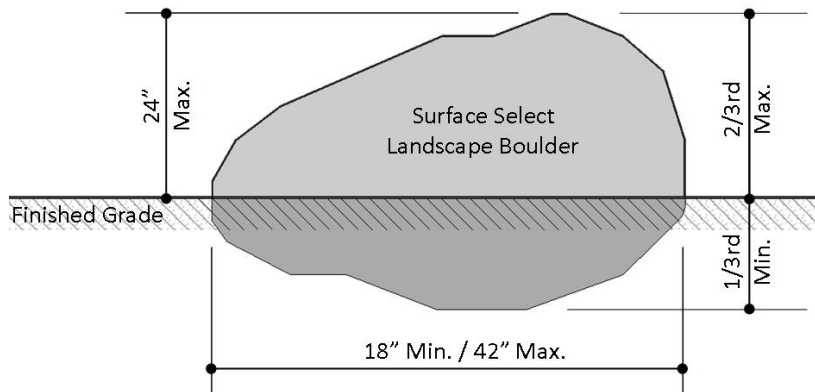
5.12. Berming and Contouring. Refer to Section 5.23 for "*Landscape Grading*"

5.13. Boulders.

- a) This section applies to any type of any landscape boulder or landscape rock that is larger than three inches (3") diameter in size; or is larger in size than the typical mineral ground cover (i.e. decomposed granite or landscape gravel) used elsewhere on the property. For clarity, this section does not apply to the large riprap used along the Lagoon edge.
- b) Landscape boulders must be "surface select" boulders. Landscape Boulders shall have a local indigenous appearance, color, and texture as commonly found in nature for exposed surface boulders. White, colorful, or contrasting boulder colors are not allowed.
- c) Landscape boulders may not have exposed broken faces or exposed scarred faces. Landscape boulders may not be "blast rock" or "shot rock".
- d) Landscape boulders must be integrated with the rest of the overall landscape composition, including plant material, contouring, and ground cover in a natural-looking manner. Landscape boulders may not look like sole independent features, artwork, or focal points. Boulders and landscape rocks may not be stacked. Boulders and landscape rocks may not be "lined up" or used to create retaining walls or decorative elements. Boulders must be installed horizontal and may not be placed vertical. Boulders may not be placed in unnatural arrangements, geometric patterns, artsy configurations, or arbitrary formations. The primary goal is for landscape boulders and landscape rocks to look natural.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Landscape Boulders must look firmly anchored into the grade.
Boulders may not look like they sit "on top" of the ground.



- e) Landscape boulders and landscape rocks shall be buried and embedded into the ground a minimum of one-third ($1/3^{\text{rd}}$) of their total height in order to appear deeply and firmly anchored into the terrain. Boulders and landscape rocks may not appear to be "set on top of the ground", but instead must appear nestled, embedded and anchored into the ground. Boulders must be placed in a manner that results a natural appearance and arrangement.
- f) Landscape boulders and landscape rocks shall be eighteen inches (18") diameter minimum in size and forty-two inches (42") diameter maximum in size, unless otherwise approved by the DRC. Small rocks that are between three inches (3") in diameter and eighteen inches (18") in diameter are not allowed as landscape elements.
- g) The maximum height of any individual or cluster of landscape boulders in the Front Yard Zone is twenty-four inches (24") above the adjacent finished grade.
- h) Boulders and landscape rocks are not allowed in the center of areas of natural grass or Artificial Turf. Landscape boulders can be on the edge of the turf, but may not be surrounded by turf on all sides.
- i) In its sole discretion, the DRC reserves all rights to limit the total quantity of boulders and landscape rocks. In general, boulders are considered an "accent" and shall be used sparingly. The objective is that landscape boulders are intended only as minor accents in the overall landscape composition, and not as major features. Large quantities of boulders or other use of boulders and landscape rocks deemed to be inappropriate in the sole opinion of the DRC will not be allowed.

5.14. Curbing, Landscape.

- Refer to Section 5.22 for "*Landscape Borders, Headers, Curbing and Edging*".

5.15. Drainage.

- Refer to Section 3.11 for "*Storm Drain Easement (SDE)*".
- Refer to Section 4.25 for "*Drainage*" in the Architectural Standards section of these Design Guidelines.
- Refer to Section 5.7 for "*Bio-Swales*".

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

5.16. Gardens.

- a) For the purpose of these Design Guidelines, a "Garden" is defined as an area of ground used for growing vegetables, herbs, fruit, seeds, and/or cut flowers. Gardens may be at grade and within the ground; or may be located in raised planting beds and containers.
- b) Raised planting beds and containers may not be higher than thirty-six inches (36") above the adjacent finished grade.
- c) Gardens are not allowed in the Front Yard Zone or in any exposed yard area that faces a street.
- d) Gardens are only allowed within the Rear Yard Zone.
- e) Shade elements, tarps, plastic covers, and similar types of canopies are not allowed for a Garden.
 - Refer to Section 4.62 for "*Planting Trellis*".
 - Refer to Section 5.19 for "*Greenhouses*".

5.17. Grass and Lawns.

- Refer to Section 5.34 for "*Turf / Lawn / Grass (Natural)*".
- Refer to Section 5.10 for "*Artificial Turf / Synthetic Grass*".

5.18. Gravel / Landscape Gravel.

- Refer to Section 5.24 for "*Landscape Gravel / Mineral Ground Cover*".

5.19. Greenhouses.

- a) Greenhouses and other types of permanent or temporary structures for the purpose of growing plants inside of a structure are not allowed.
- b) Mini-greenhouses may be allowed with the specific approval of the DRC when located within the Rear Yard Zone and surrounded by a solid yard fence on all sides; and **provided** that the highest point of the mini-greenhouse is lower than the top of the surrounding yard fence; and the mini-greenhouse is not visible from Public View, including potential views from the Lagoon.
- c) Any greenhouse that is taller than the surrounding yard fence or is otherwise visible from Public View is considered an "Accessory Structure", as defined in these Guidelines, and must be approved by the DRC prior to installation. Refer to "Accessory Buildings and Structures (Detached)" in Section 4.2 of these Design Guidelines for additional design criteria.
- d) The DRC reserves the right to not approve a proposed greenhouse or similar type of structure for growing plants that the DRC deems, in its sole opinion, to be inappropriate, including, but not limited to, reasons of: location, aesthetics, quality, reflectivity, glare, materials, heights, visibility, and appearance.
 - Refer to Section 4.2 for "*Accessory Building and Structures (Detached)*".
 - Refer to Section 4.83 for "*Shade Structures*".

5.20. Hardscape Elements. Refer to Section 4 - Architectural Standards for all hardscape elements, including, but not limited to: driveways, sidewalks, fences, walls, gates, patios, decks, pools, spas, shade structures, fire elements, barbecues, water features, and other hardscape elements.

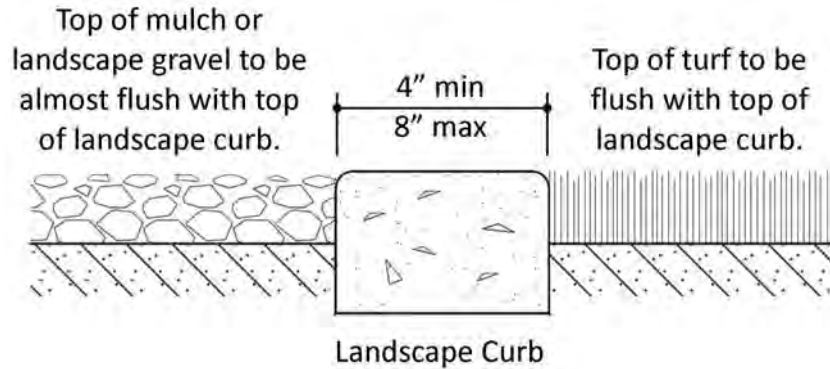
5.21. Irrigation.

- a) All landscape areas shall be irrigated with an automatic, underground irrigation system.
- b) Different irrigation valves should be provided for trees, low-water-use shrubs, ornamental shrubs, turf, pots, fruit trees, and vegetable gardens. Additional irrigation valves should be considered to accommodate varying sun exposures.
- c) Spray irrigation is limited to natural turf areas only. Spray irrigation shall be located a minimum of thirty inches (30") from any building or yard fence to avoid spray or overspray onto the vertical surfaces of those elements, including landscape areas within a Rear Yard Zone.
- d) Spray irrigation shall be located a minimum of twenty-four inches (24") from any electrical transformer.
- e) Irrigation run-off into streets, sidewalks, Common Areas, adjacent properties, and/or the Lagoon is not permitted. Owners shall maintain their irrigation and sprinkler systems to avoid run-off issues.
- f) Above-ground irrigation pipes or exposed irrigation tubing are not allowed (except for the small ends of the individual emitter tubes).
- g) Ground-mounted valve boxes, transformers, timers, or other flush-mounted boxes shall match the color of the ground treatment; and should not be placed within turf areas.
- h) All equipment, controllers, and valves should be placed in inconspicuous areas of the site; generally screened from Public View.
- i) Trees and shrubs within the Neighborhood Street Frontage Zone (the landscape area between the public sidewalk and the street) shall be irrigated by the Owner's irrigation system.

5.22. Landscape Borders, Headers, Curbing, and Edging.

- a) Landscape borders, headers, curbing, and edging shall be constructed of durable materials such as extruded concrete, brick pavers, concrete pavers, composite bender boards or steel edging.
- b) The color of any Landscape Border shall be warm, earthy tones such as tans, browns and warm grays. Colorful, dramatic, or bold Landscape Borders are not allowed.
- c) Landscape Borders in the Front Yard Zone shall have a minimum width of four inches (4") and a maximum width of eight inches (8").
- d) Metal edging is not allowed in the Front Yard Zone.
- e) Scalloped, patterned, or decorative edging or borders are not allowed in the Front Yard Zone.
- f) Wood, composite, or plastic edging are not allowed in the Front Yard Zone.
- g) Rocks, boulders, rip-rap, river rocks or similar elements may not be used to create a landscape border, header, or edging in the Front Yard Zone.
- h) The top of a Landscape Border shall be set flush with the top of the adjacent turf and flush with the top of the adjacent landscape mulch and/or landscape gravel. "Raised" Landscape Borders are not allowed.
- i) Landscape Borders are not allowed to be placed immediately adjacent and parallel to a driveway, walkway, or public sidewalk. The driveway or sidewalk can serve as the termination for the landscaping without the need for an additional border.
- j) In general, the layout of Landscape Borders in the Front Yard Zone shall be arranged in simple shapes; often rectangular or with minimal pattern. Highly patterned, extreme curves, and arbitrary meandering of Landscape Borders may be disapproved by the DRC in its sole discretion.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.



5.23. Landscape Grading.

- a) Landscape grading, berming or contouring in the Front Yard Zone shall be gentle, subtle, organic, and naturally-contoured. In general, berming and contouring of the grade in the Front Yard Zone is discouraged. "Berms" may not appear like "piles of dirt" and may not look like "a mound with something buried beneath it". Landscape grading may not be used to create artistic forms or purely decorative effects in the Front Yard Zone. The objective is that any landscape grading appears subtle, natural and organic.
- b) The height of a landscape berm or mound in the Front Yard Zone may not exceed twelve inches (12") above the original grade or adjacent grade.
- c) Landscape grading must be accomplished without interrupting established drainage elements, including drainage easements or on-lot drainage patterns. Landscape grading, berming, or mounding may not impede, divert, or alter the flow and drainage of storm water runoff as designed and built as part of the Original Construction.
- d) Landscape grading may not result in earth or soil that retains against a yard fence located on a common property line.
- e) Landscape grading may not cause drainage, siltation or erosion onto adjacent properties, public sidewalks, walkways, driveways, or into the Lagoon.
- f) Landscape grading in the Rear Yard Zone shall direct drainage to the existing Bio-Swales in order to allow the Bio-Swales to naturally filter any urban contaminants from the storm water runoff before the storm water runoff enters the Lagoon.
- g) The DRC reserves the right to not approve landscape grading that it deems, in its sole discretion, to be excessive or inappropriate.
 - Refer to Section 4.25 for "*Drainage*".
 - Refer to Section 5.7 for "*Bio-Swales*".

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- 5.24. Landscape Gravel / Mineral Ground Cover.** Although organic mulch is the most common landscape ground cover used throughout Delta Coves, landscape gravel may be allowed when approved by the DRC and subject to compliance with the following design criteria.
- a) **Neighborhood Street Frontage Zone:** The only landscape gravel allowed in the Neighborhood Street Frontage Zone is **3/8" Pea Gravel** in a blend of warm brown tones, as shown on the photographic example below.
 - b) **Front Yard Zone:**
 - i) If used as a primary mineral ground cover for a significant portion of the Front Yard Zone, the only landscape gravels allowed in the Front Yard Zone are:
 - **3/8" Pea Gravel** in a blend of warm brown tones, as shown on the photographic example below.
 - **3/8" Crushed Black Basalt** in a blend of dark gray tones, as shown in the photographic example below.
 - The DRC reserves the right to add additional landscape gravels to this list at its sole discretion.
 - ii) Small areas of Accent Gravels may be used in the Front Yard Zone for minor landscape accents when approved by the DRC. For example, concrete stepping stones for a front walkway may be located within accent bands of decorative gravel or small stones. Small areas of Accent Gravel may not comprise more than fifteen percent (15%) of the overall landscape area in the Front Yard Zone and shall be designed an integral part of the overall front yard landscape design.
 - iii) The allowed locations, colors, sizes, textures, and appearances of Accent Gravels shall be at the discretion of the DRC. In general, the color of any Accent Gravel shall be earthy tones such as browns, tans and darks grays. White, light-grey, green, red, and/or other bold colors of Accent Gravel are not allowed.
 - iv) Landscape gravels, mineral ground covers, Accent Gravels, small stones and similar treatments that contrast highly in color, texture, pattern or appearance with the rest of the landscape will not be allowed. Mineral ground cover and landscape gravels may not be used to create decorative patterns and should not visually dominant the landscape areas in the Front Yard Zone.
 - v) Decorative "dry streams" filled with river rock or any other rocks are prohibited in the Front Yard Zone.
 - vi) Landscape gravels may not be used to widen a driveway or to provide additional parking or driving surfaces. Refer to Section 4.26 of these Design Guidelines for design criteria for driveways.
 - vii) The primary philosophy of landscape in the Front Yard Zone is that the plants and vegetation provide coverage of the landscape areas; and that any areas of exposed landscape gravel and mineral ground cover should be minimal.
 - c) **Rear Yard Zone:**
 - i) In general, landscape gravel is allowed in the Rear Yard Zone as a primary mineral ground cover. The DRC will often allow greater flexibility for the use of landscape gravel in the Rear Yard Zone, as compared to the Front Yard Zone.

- ii) If landscape gravel is located adjacent to the riprap bank of the Lagoon, the landscape gravel shall be separated from the riprap with a permanent landscape border to ensure that the landscape gravel does not migrate or erode into the riprap bank of the Lagoon. Refer to Section 5.22 of these Design Guidelines for design criteria for Landscape Borders, Headers, Curbing and Edging.
- iii) The type, size, color, texture, location and amount of landscape gravel in the Rear Yard Zone will be evaluated by the DRC on a case-by-case basis. The DRC reserves the right to not approve any landscape gravel or mineral ground cover in the Rear Yard Zone deemed to be inappropriate in the sole discretion of the DRC.
 - Refer to Section 5.2 for "*Residential Landscape Zones*".
 - Refer to Section 5.7 for "*Bio-Swale*".
 - Refer to Section 5.13 for "*Boulders*".
 - Refer to Section 5.22 for "*Landscape Borders, Headers, Curbing and Edging*".
 - Refer to Section 5.27 for "*Mulch*".
 - Refer to Section 5.32 for "*Rip-Rap and Erosion Control in the Front Yard Zone*".

Approved Landscape Gravels



3/8" Pea Gravel

Blend of warm brown colors.

Allowed for:

- Neighborhood Street Frontage Zone.
- Front Yard Zone.
- Rear Yard Zone.

This is the only landscape gravel allowed in the **Neighborhood Street Frontage Zone.**



3/8" Crushed Black Basalt

Allowed for:

- Front Yard Zone.
- Rear Yard Zone.

Not allowed in the **Neighborhood Street Frontage Zone.**

At this time, these are the only landscape gravels allowed in the Front Yard Zone. The DRC reserves the right to add additional landscape gravels in its sole discretion.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

5.25. Landscape Lighting.

- Refer to Section 6 - Outdoor Lighting Standards

5.26. Lawn.

- Refer to Section 5.10 for "*Artificial Turf / Synthetic Grass*".
- Refer to Section 5.34 for "*Turf / Lawn / Grass (Natural)*".

5.27. Mulch. All landscape areas that are not natural turf or Artificial Turf, shall be covered with organic mulches, such as wood chips, tree bark, fibrous mulch, and other similar types of organic landscape mulches in a manner consistently used throughout the Community.

5.28. Ornamentation, Artwork or Sculpture.

- Refer to Section 4.9 for "*Art, Artwork, Sculpture and Ornamentation (Exterior)*".

5.29. Planter Boxes, Planter Beds and Raised Planting Areas.

- a) Raised landscape planter boxes, raised planter beds, and raised planting areas created by retaining walls, including those within a Rear Yard Zone, may not be attached directly to or against a yard fence on the common property line of an adjacent lot; or yard fences immediately adjacent to Common Areas or open spaces.
- b) When adjacent to a yard fence on a common property line, a raised planter must have its own separate retaining wall structure with a minimum one-half inch ($\frac{1}{2}$ ") air space between the walls of the planter box and the yard fence. Soil from a raised planter may not retain directly against a common wall or yard fence.
- c) The inside of all raised planter boxes and raised planter beds must be water-proofed to prevent water damage to the structure and exterior face of the walls.
- d) Raised planter elements in the Front Yard Zone may not exceed twenty-four inches (24") in height above the adjacent finished grade.
- e) Raised planter elements within a Rear Yard Zone may not exceed forty-two (42") in height above the adjacent finished grade, unless otherwise approved by the DRC.
 - Refer to Section 4.64 for "*Pots and Planters*".
 - Refer to Section 5.16 for "*Gardens*".
 - Refer to Section 5.19 for "*Greenhouses*".

5.30. Planting Trellis.

- Refer to Section 4.62 for "*Planting Trellis*" in the Architectural Standards section of the Design Guidelines.

5.31. Pots and Planters.

- Refer to Section 4.64 for "*Pots and Planters*" in the Architectural Standards section of the Design Guidelines.

5.32. Rip-Rap and Erosion Control in the Front Yard Zone.

- a) In general, the use of rip-rap or large river rock (2" diameter or greater) in the Front Yard Zone is prohibited, unless otherwise approved by the DRC to mitigate significant erosion issues, as noted below. The DRC will review Design Review Applications for erosion protection on a case-by-case basis.
- b) Swales, ditches, "dry streams", "dry rivers", ornamental conditions, or drainageways filled with rocks are prohibited in the Front Yard Zone. Rip-rap and large river rock may not be used to create non-functional decorative landscape elements in the Front Yard Zone.

5.33. Swimming Pools and Spas.

- Refer to Section 4.66 for "*Pools and Spas*" in the Architectural Standards section of these Design Guidelines.

5.34. Turf / Lawn / Grass (Natural). Natural grass and natural turf may be used when approved by the DRC and subject to compliance with the following design criteria.

5.34.1. Natural Turf in the Front Yard Zone. Natural grass and natural turf within the Front Yard Zone must comply with the following design criteria:

- a) Turf areas should be designed to complement the front walkway, entry courtyard, and overall landscape composition. Turf areas should be organized and arranged with forms, shapes, and locations that complement the architecture of the home and the presentation to the street. The turf should be located so it provides a visual and functional extension of the home.
- b) In general, turf areas in the Front Yard Zone must be a minimum of five feet (5'-0") in width in any direction, unless otherwise approved by the DRC.
- c) Turf areas in the Front Yard Zone that are not directly adjacent to a driveway, walkway, or sidewalk are required to be defined and contained by a permanent landscape border or landscape curbing as outlined in Section 5.22 of these Design Guideline.
- d) Natural grass is not allowed in the Neighborhood Street Frontage Zone.
- e) The DRC reserves the right to not approve any natural turf in the Front Yard Zone that the DRC deems, in its sole discretion, to be inappropriate, including, but not limited to, reasons of size, coverage, shape, slope, or negative impact.

5.34.2. Natural Turf in the Rear Yard Zone. Natural grass and natural turf within the Rear Yard Zone must comply with the following design criteria:

- f) Natural turf areas in the Rear Yard Zone are required to be contained by a permanent landscape border, curbing or edging to ensure that the natural grass does not migrate into the riprap of the Lagoon edge or into the Bio-Swales. All landscape borders, curbing or edging shall comply with the design criteria outlined in Section 5.22 of these Design Guidelines.

5.34.3. Natural Turf Design Standards. (*applies to Front Yard Zone and Rear Yard Zone*) All natural grass and natural turf regardless of location must comply with the following design criteria:

- g) Natural turf must be located a minimum of thirty inches (30") away from any building wall, yard wall, or yard fence in order to minimize damage to the buildings, walls and fences from sprinkler irrigation overspray.
- h) Natural turf must be located a minimum of twenty four inches (24") away from any public utility electrical transformer or switch box.

- i) Natural turf areas must be irrigated with an automatic, underground, spray irrigation system. The irrigation system shall be designed to minimize overspray and runoff to the greatest extent possible.
- j) Turf species and/or hybrids must be selected from the list of turf species in the Approved Plant List in Appendix D of these Design Guidelines. Other species of turf not listed in the Approved Plant List in Appendix D are not allowed, unless specifically approved otherwise by the DRC.
- k) Maintenance of natural grass shall comply with the criteria in Section 5.40 of these Design Guidelines, as well as the requirements of the CC&Rs.
 - Refer to Section 5.10 for "*Artificial Turf / Synthetic Grass*".
 - Refer to Section 5.21 for "*Irrigation*".
 - Refer to Section 5.22 for "*Landscape Borders, Headers, Curbing, and Edging*".
 - Refer to Section 5.40 for "*Landscape Maintenance*".
 - Refer to Appendix D for "*Approved Plant List*".

5.35. Walls and Fences.

- Refer to Section 4.29 for "*Fences and Site Walls - Front Yard Zone*".
- Refer to Section 4.30 for "*Fences and Yard Walls - Rear Yard Zone*".

5.36. Water Features.

- Refer to Section 4.102 for "*Water Features*" in the Architectural Standards of these Design Guidelines

5.37. Weed Barriers. Plastic sheet weed barriers and/or weed prevention fabrics are not allowed under landscape gravels, mulches, or landscape areas. In general, these types of materials deteriorate and become exposed, resulting in an undesirable and unattractive appearance.

5.38. Yard Walls and Yard Fences.

- Refer to Section 4.29 for "*Fences and Site Walls - Front Yard Zone*".
- Refer to Section 4.30 for "*Fences and Yard Walls - Rear Yard Zone*".

5.39. Timing and Schedule for Initial Installation of Landscape Improvements.

- a) The Original Homebuilder is required to install all initial landscaping in the Front Yard Zone and in the Neighborhood Street Frontage Zone as part of the Original Construction in accordance with timing and design criteria established by the Master Developer.
- b) Initial landscape improvements in the Rear Yard Zone shall be installed and completed by the Owner within six (6) months of initial close of escrow of the purchase of the property from the Original Homebuilder. (For the purpose of these Design Guidelines, the term "initial landscape" means the first or initial landscape improvements in the Rear Yard Zone that transform the rear yard from unfinished dirt and sand to improved landscape and hardscape surfaces that will deter dust, erosion and weeds.) At a minimum, groundcover plants or grass and landscape mulch or landscape gravel must be installed in the Rear Yard Zone within the first six (6) months for dust control, weed control, and erosion control.

REMINDER:

**INITIAL REAR YARD
LANDSCAPING MUST
BE COMPLETED
WITHIN SIX (6)
MONTHS OF THE
INITIAL CLOSE OF
ESCROW.**

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- c) All landscape improvements in the Rear Yard Zone require the approval of the DRC prior to installation; therefore, the DRC recommends that Owners submit a complete Design Review Application to the DRC for review and approval within the first three (3) months after occupancy in order to be able to meet the required completion deadlines noted above.

5.40. Landscape Maintenance.

- a) Maintenance of the landscape and other incidental landscape items on an individual, single-family Lot is the sole responsibility of the Owner. Owners shall maintain all landscape areas in a clean, neat, and weed-free condition. The landscape must be maintained in a manner that does not become visually unattractive, overgrown, or otherwise not in keeping with these Design Guidelines or the standards of the Community. All dead and dying plants must be replaced with the same species or other compatible plants from the Approved Plant List in Appendix D of the Design Guidelines, unless otherwise approved by the DRC.
- b) The replacement of an existing plant that is distressed, diseased, dying, or dead with a replacement plant of the same species in the same location is considered maintenance and does not require approval by the DRC.
- c) Trees, shrubs, and plantings of any kind shall not overhang or encroach upon any public right-of-way, public sidewalk, or any other publicly-accessible pedestrian way from ground level to a height of eight feet (8'-0") above ground level.
- d) Shrubs and plantings of any kind shall not encroach into the Lagoon Zone.
- e) Each Owner shall be responsible for trimming and pruning of all trees in which the trunk of the tree is located within the boundaries of their Lot or within their applicable portion of the Neighborhood Street Frontage Zone.
- f) Citrus, fruit-bearing, and nut-bearing trees shall be maintained in such a manner that the tree does not drop fruit or nuts on an adjacent property. Owners are required to remove fruit that has fallen to the ground in a timely manner.
- g) Owners are responsible for the raking and removal of leaves that fall onto their property or in the Neighborhood Street Frontage Area, regardless of the source of those leaves.
- h) Natural turf shall be maintained in an attractive and well-kept manner at all times.
- j) The Owner is required to maintain their irrigation and sprinkler systems in good working order at all times. Owners shall maintain their irrigation and sprinkler systems to avoid significant run-off issues. Irrigation run-off into streets, sidewalks, Common Areas, adjacent properties, or the Lagoon is not permitted. Spray irrigation systems shall be maintained to minimize overspray to the greatest extent possible.
- i) The Owner is responsible for the care, maintenance, replacement and irrigation of all landscaping within the Neighborhood Street Frontage Zone between the public sidewalk and the street curb adjacent to the Owner's Lot.
- j) The DRC and/or the DCMC reserve all rights to ensure the maintenance of landscape on residential properties in accordance with these Design Guidelines and the CC&Rs, including the imposition of fines. The DRC and the DCMC may create additional landscape maintenance standards.

5.41. Maintenance within the Lagoon Zone.

- a) Plants, vegetation, and weeds are not allowed on the rock slope bank of the Lagoon; nor on or below the water surface in the Lagoon Zone. Owners are responsible for the remediation and removal of any plant growth within the Lagoon Zone associated with their property, including along the rip rap embankment, under the Deck, and in or under the water. No visible plant material at the surface shall be permitted; and the subsurface of the water areas shall be regularly maintained and kept weed free.
- b) Owners are required to clear and remove submersed aquatic vegetation from their Lagoon Zone at least three (3) times a year. Best practices suggest that the clearing of aquatic vegetation between March through November results in the most effective opportunity to control submersed aquatic vegetation during these times of year when the water temperatures are at their highest.
- c) Owners are responsible to maintain their portion of the Lagoon Zone, including the riprap embankment and the area under the Deck, free of all debris and trash, regardless of the source of such debris or trash.
- d) The rocks on the riprap embankment in the Lagoon Zone may not be removed, relocated or altered. If any rocks are accidentally or intentionally moved, disturbed or relocated in order to facilitate maintenance or approved construction in the Lagoon Zone, the rocks must be carefully replaced in the same interlocking locations to ensure the stability of the riprap embankment. Any alteration or modification to the riprap embankment of any type is subject to the purview of BIMID.
- e) All maintenance in the Lagoon Zone shall be done in accordance with applicable codes, ordinances, standards and policies of the governing agencies having jurisdiction over the Lagoon; including but not limited to potential restrictions and/or limitation on the use of herbicides, pesticides, and other chemicals.
- f) Contact the DCMC for questions related to the proper maintenance protocols for those areas within the Lagoon Zone.

Section 6

Outdoor Lighting Standards

6.1. Outdoor Lighting Philosophy. Outdoor Lighting shall be kept to a minimum and shall be subtle, aesthetically-pleasing, and non-obtrusive. The goal is to minimize outdoor lighting while still providing needed lighting for safety and aesthetics. In addition, a primary objective is to shield and shroud the light source in order to avoid undesirable glare and “hotspots”. In general, the philosophy is to have minimal Outdoor Lighting that is shielded and subtle while still providing appropriate accents, safety and function.

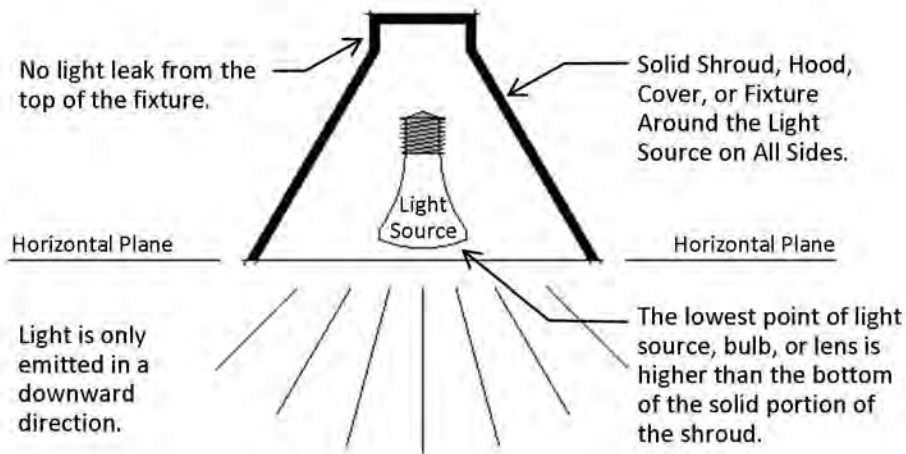
6.2. Approvals.

- a) Any changes, additions or modifications to the Outdoor Lighting, regardless of location, require the approval of the DRC; including Outdoor Lighting at Decks and Docks.
- b) Because there are so many different possibilities, lighting products, and conditions, the DRC will review applications for Outdoor Lighting on a case-by-case basis. The DRC reserves all rights to not approve any Outdoor Lighting that it deems to be not appropriate in the sole discretion of the DRC.

6.3. General Outdoor Lighting Standards.

- a) In general, Outdoor Lighting should be limited to outdoor living spaces, entries, patios, courtyards, front porches, Decks and other “useable” spaces.
- b) Outdoor Lighting should not be used to illuminate the face of a building for decorative purposes, but instead should be used to illuminate spaces that are occupied or used by the residents and their guests.
- c) In general, the style, character, and appearance of an outdoor light fixture shall complement the architectural style of the home; or shall blend seamlessly into the landscape.
- d) Outdoor Lighting may not be aimed or directed at surrounding properties, including streets, the Lagoon and Common Areas. In general, Outdoor Lighting should be oriented in a downward direction and not toward neighboring properties.
- e) All Outdoor Lighting must be fully-shielded to conceal the light source; and to minimize glare, “hot spots”, and light spill, unless otherwise approved by the DRC.
- f) All Outdoor Lighting must provide for significant shielding to ensure that light source and light bulb are not visible from Public View to the extent possible. Outdoor light fixtures may use solid shrouds or translucent shades to reduce glare. No bare, exposed or visible light sources will be permitted, unless otherwise approved by the DRC.
- g) Exterior recessed lighting in soffits, ceilings, and eaves shall have the bottom of the bulb or lens flush or recessed from the surface of the ceiling or soffit.
- h) Underwater lighting is allowed for pools, spas, and water features. The location of the underwater light fixture shall be placed to minimize the visibility of the light source from Public View and from adjacent properties.
- i) Step lights shall have louvers and/or shields to screen the light source and hot spot.
 - Refer to Section 6.18. for “Prohibited Outdoor Lighting”.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.



Explanation of “Fully Shielded” Light Fixture

6.4. Light Sources / Bulbs and Lamps.

- a) Incandescent, halogen, compact fluorescent, and LED light sources and bulbs are allowed for outdoor use provided that the light sources comply with the criteria below.
- b) LED light sources are strongly preferred due to their low energy consumption, long lasting bulbs, and compact configurations; provided they comply with the criteria below.
- c) Outdoor light sources (bulbs and lamps) must meet the following criteria for color and color temperature:
 - i) Color: Warm White.
 - ii) Color Temperature: Between 2700 – 3000 Kelvin (K).
(Do not use bulbs with a color temperature that exceeds 3000 Kelvin (K), as they are too “cool” in color and not desirable for outdoor use.)
- e) Outdoor light sources (bulbs and lamps) must meet the following criteria for brightness or lumen output:
 - i) Most Outdoor Conditions: 450 initial lumens (the equivalent of a 40-watt incandescent bulb)
 - ii) Maximum in Any Condition: 1100 initial lumens (the equivalent of a 75-watt incandescent bulb)
 - iii) In most cases, using lower lumen output to achieve the desired lighting effect is strongly encouraged, and may be required by the DRC. In most cases, less light output is better than more light output.
 - iv) The detailed requirements noted in the specialty lighting sections of these Design Guidelines may dictate lower levels of illumination for certain applications and certain light fixture types.
- Refer to Section 6.18 for *“Prohibited Outdoor Lighting”*.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

6.5. Lighting at Docks.

- Refer to Section 8.19 for *"Dock Lighting"* for additional Outdoor Lighting requirements for Docks, gangways, boat covers, and other improvements at the Dock.

6.6. Lighting at Decks in the Lagoon Zone.

- Refer to Section 7.11 for *"Lighting at Decks in the Lagoon Zone"* for additional Outdoor Lighting requirements at Decks in the Lagoon Zone.

CROSS REFERENCES:

*Refer to Section 8.19 of the Design Guidelines for design criteria for Outdoor Lighting at **Docks and Gangways.***

*Refer to Section 7.11 of the Design Guidelines for additional design criteria for Outdoor Lighting at **Decks in the Lagoon Easement.***

6.7. Outdoor Lighting at Front Porch / Covered Front Entry / Front Door. Subtle, shielded, automatic, and continuously-operating lighting at front porches, covered front entries, and adjacent to the front door is encouraged in order to provide a welcoming and inviting appearance to the home in the evening. The DRC encourages an outdoor light that is connected to a photocell or automatic timer which operates in the "on" position from dusk to dawn on all days to be located at the front porch, covered front entry, or near the front door of the home.

- Refer to Section 6.8. for *"Building-Mounted Lights / Wall-Mounted Lights / Coach Lights"*.

6.8. Building-Mounted Lights / Wall-Mounted Lights / Coach Lights. Wall-mounted lights (also known as coach lights), pendant lights, outdoor chandeliers, and other types of decorative building-mounted light fixtures shall comply with the following criteria:

- a) The appearance of a building-mounted light fixture shall match and complement the architectural style and character of the Residence.
 - b) The color of an exterior building-mounted light fixture shall be black, dark bronze, dark brown, pewter, dark gray, or similar. Chrome, silvery, shiny, white, or colorful outdoor light fixtures are generally not allowed.
 - c) All exterior building-mounted light fixtures shall either have a fully-shielded light source, or shall use a frosted or translucent glass lens to minimize the glare of the bulb, as shown in the examples below. Clear glass lenses, seeded glass lenses, and lightly frosted glass lenses are not allowed for a building-mounted light fixtures. **The simple test is that you may not see the light bulb through the glass lens of the light fixture.**
 - d) The size, dimensions and proportions of the outdoor light fixtures must be appropriate to the scale and proportions of the home. The DRC reserves all rights to not approve outdoor light fixtures that it deems, in its sole discretion, to be too large or too small.
 - e) In general, the bulb brightness for exterior wall-mounted lights or other decorative building-mounted lights shall not be greater than 450 initial lumens. (This is the equivalent of a 40-watt incandescent bulb.) Bulbs that are 200 lumens are preferred for wall-mounted outdoor lights. (This is the equivalent of a 25-watt incandescent bulb.)
 - f) Colored lights are not allowed.
 - g) Colored lens or colored translucent shades are not allowed.
- Refer to Section 6.3 for *"General Outdoor Lighting Standards"*.
 - Refer to Section 6.4 for *"Light Sources / Bulbs and Lamps"*.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

EXAMPLES OF WALL-MOUNTED LIGHT FIXTURES WITH SHIELDED LIGHT SOURCES

The light bulbs and light source are not visible through the semi-transparent lenses

or

The light bulbs and light source are hidden by the solid metal shroud



All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

6.9. Outdoor Security Lighting. Outdoor security lights including flood lights, yard lights, and outdoor lights on motion detectors for the purpose of security illumination are strongly discouraged, but may be allowed on a case-by-case basis subject to specific approval of the DRC and subject to compliance with the following criteria:

- a) Security lights will not be allowed to operate for the purpose of general illumination. Security lights may only be used for short-term and immediate security lighting needs.
- b) In the Front Yard Zone, security lights are only allowed to be mounted on the face of the house immediately adjacent to or above the garage door in order to provide shielded illumination oriented at the driveway. Security lights may not be located in any other portion of the Front Yard Zone or on any other portion of the front elevation of the house that faces the street. (If additional lighting is necessary in the Front Yard Zone for security purposes, such additional lighting will need to be provided with architectural lighting or landscape lighting that complies with these Design Guidelines.)
- c) Security lights may be allowed in the Rear Yard Zone including on the side of the home, if approved by the DRC and subject to compliance with the design criteria noted herein.
- d) Security lights may be allowed at a Dock when approved by the DRC and subject to compliance with the design criteria noted herein. Refer to Section 8.19 for additional design criteria for lighting at a Dock.
- e) Security lights may not have a light output greater than 1100 lumens per fixture (the equivalent of a 75-watt incandescent bulb).
- f) Security lights must be shielded and shrouded. The hood, shroud or shield on a security light must extend at least one inch (1") beyond the face of the bulb, lens, or light source.



Shielded Security Lights
With Shroud
ACCEPTABLE WITH APPROVAL



Unshielded Security Lights
NOT ACCEPTABLE

- g) Security lights must be oriented in a downward direction and may not cause excessive glare or light spill onto adjacent properties. Security lights may not be aimed toward a street or adjacent properties.
- h) Security lights may not be mounted higher than ten feet (10'-0") above the adjacent finished grade.
- i) Security lights are not allowed on second floor verandas, balconies, or view decks.
- j) Security lights may not be mounted to a free-standing post or pole. Security lights must be mounted to buildings or structures, unless specifically approved otherwise by the DRC.
- k) Colored lights or colored lenses not allowed.
- l) If operated by a manual switch, security lights shall only be used when necessary for immediate use or short-term security needs. Security lights may not be left in the "on" position.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- m) Security lights may be switched on and turned off by a motion detector. If on a motion detector, security lights will only be allowed to stay lit for a maximum of twenty (20) continuous minutes. Motion detectors must be set so that the movement of vegetation, pets, or wildlife does not turn on the security lights.
- n) If problems occur with security lights and/or if the security lights become a nuisance, the DRC and the DCMC reserve the right to demand that the security light fixtures be permanently disconnected and/or removed.
- Refer to Section 8.19 for "Dock Lighting".

6.10. Driveway, Walkway and Path Lighting. Any driveway, walkway and path lighting must be approved by the DRC prior to installation. Lighting of a driveway, walkway or path may not visually dominate the appearance of the home at night as viewed from the street or from the Lagoon. The DRC reserves all rights to create specific stipulations on a case-by-case basis based on their review of a specific application. If approved, driveway, walkway and path lighting must comply with the design criteria below:

- a) In general, the lighting of driveways, or along the edges of driveways, is not recommended. Appropriate architectural lighting that is mounted to the face of the garage or the front of the home should minimize the need to place path lights along the edges of the driveway in most conditions.
- b) If approved, light fixtures along a driveway, walkway or path must be spaced at least eight feet (8'-0") apart between fixtures.
- c) If approved, the light fixtures shall be fully-shielded to conceal the light source and eliminate glare. "Hot-spots" from path light fixtures may not be visible from Public View.



- d) Pole-mounted lights that are taller than twenty-four inches (24") above the pavement surface or finished grade are not allowed.
- e) Light fixtures along driveways, walkways and paths shall be placed in locations that will not be damaged or knocked over by vehicles or pedestrians.
- f) Driveway light fixtures shall be constructed of durable and low-maintenance materials such as metal, aluminum, or copper. Plastic fixtures should be avoided.
- g) Colored lights or colored lenses not allowed.
- h) In an effort to minimize light pollution, driveway lighting should generally be turned off by automatic methods by or before midnight.
- i) Driveway, walkway and pathway lighting must be maintained in an attractive and well-kept manner at all times. If the appearance of the driveway lights becomes broken, bent, skewed, leaning, fallen-over, or unsightly, the Owner shall immediately remove, repair, or replace the path lights.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- 6.11. Landscape Lighting.** Landscape lighting may be allowed when approved by the DRC and subject to compliance with the following criteria:
- a) Landscape lighting should be used to subtly accentuate the landscape at night. It should provide a level of safety and security without being overly-decorative or overly-illuminated. The objective for landscape lighting is to be subtle and understated, yet effective.
 - b) Path lights shall be spaced at least eight feet (8'-0") apart. When illuminating a walk or driveway, alternate the location of the light fixtures on either side of the walk or driveway to avoid looking like a "runway".
 - c) Landscape light fixtures shall be constructed of durable and low-maintenance materials such as metal, aluminum or copper. Plastic fixtures should be avoided.
 - d) All light sources and light bulbs must be fully-shielded from view.
 - e) Landscape lighting shall be low-voltage only, unless approved otherwise by the DRC.
 - f) Uplighting of buildings, structures, walls, and fences is not allowed. The intent of landscape lighting is to illuminate the vegetation; and not the buildings or structures.
 - g) Self-contained solar powered landscape and path lights are allowed provided the solar cell is 3"x3" in size or less; and the solar cell is an integral part of the fixture design. Landscape light fixtures with separate solar components or separate battery components are not allowed.
 - h) Landscape lighting must be controlled with an automatic electric clock or photo-cell device.
 - i) All wiring for light fixtures must be buried below grade per the manufacturer's requirements.
 - j) Landscape lighting controller equipment must be located in a discrete location or screened from Public View.
 - k) The color of the fixture and housing of all landscape lights shall be black, dark bronze, dark brown, aged bronze, aged brass, copper, verde green, or similar dark colors. Chrome, stainless steel, silver, shiny, or reflective finishes are not allowed for landscape light fixtures.
 - l) Colored light bulbs, lenses, or reflectors are not permitted.
 - m) Rope lights are not allowed as landscape lighting.
 - n) String Lights are not allowed in or between trees or within the landscape.
 - o) "Mini Light Strings" like those commonly used for Christmas and holiday decorations are not allowed as landscape lighting (except as allowed for Holiday and Seasonal Temporary Lighting).
 - p) All landscape lighting, including solar powered lighting, shall be approved by the DRC prior to installation.
 - q) The DRC reserves the right, in its sole discretion, to not allow landscape lighting that it deems to be inappropriate; including, but not limited to, reasons of: quantity of fixtures, location of fixtures, orientation of fixtures, or total illumination output.
- Refer to Section 6.10 for "*Driveway, Walkway and Path Lighting*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.



6.12. Front Yard Zone Landscape Lighting. Landscape lighting located within the Front Yard Zone must be approved by the DRC prior to installation and must comply with the following criteria:

- a) The maximum quantity of landscape lights in the Front Yard Zone may not exceed ten (10) fixtures, including driveway, walkway and pathway lighting; unless otherwise approved by the DRC.
- b) In general, landscape lights may not be clustered together or grouped in one area, but instead the landscape lights shall be appropriately distributed and arranged for an attractive lighting concept.
- c) All landscape lights shall be "Fully Shielded Light Fixtures" as defined and illustrated in Section 6.3 of these Design Guidelines.
- d) Landscape lighting is not allowed in the Neighborhood Street Frontage Zone between the public sidewalk and the street.
- e) The DRC reserves the right, in its sole discretion, to not allow landscape lighting in the Front Yard Zone that is deemed to be inappropriate; including, but not limited to: quantity of fixtures; location of fixtures, type of fixtures; orientation of fixtures; or illumination output.
 - Refer to Section 6.3 for "*General Outdoor Lighting Standards*".
 - Refer to Section 6.10 for "*Driveway, Path and Walkway Lighting*".
 - Refer to Section 6.11 for "*Landscape Lighting*".
 - Refer to Section 6.18 for "*Prohibited Outdoor Lighting*".
 - Refer to Section 4.48 for "*Holiday Lights and Holiday Decorations (Temporary)*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- 6.13. Rear Yard Zone Landscape Lighting.** Landscape lighting located within the Rear Yard Zone must be approved by the DRC prior to installation and must comply with the following criteria:
- a) The maximum quantity of landscape lights in the Rear Yard Zone may not exceed twelve (12) fixtures; unless otherwise approved by the DRC.
 - b) In general, landscape lights may not be clustered together or grouped in one area, but instead the landscape lights shall be appropriately distributed and arranged for an attractive lighting concept.
 - c) All landscape lights shall be "Fully Shielded Light Fixtures" as defined and illustrated in Section 6.3 of these Design Guidelines.
 - d) The DRC reserves the right, in its sole discretion, to not allow landscape lighting in the Rear Yard Zone that is deemed to be inappropriate; including, but not limited to: quantity of fixtures; location of fixtures, type of fixtures; orientation of fixtures; or illumination output.
 - Refer to Section 8.19 for "*Dock Lighting*".
 - Refer to Section 7.11 for "*Lighting at Decks in the Deck Easement in the Lagoon Zone*".
 - Refer to Section 6.3 for "*General Outdoor Lighting Standards*".
 - Refer to Section 6.10 for "*Driveway, Path and Walkway Lighting*".
 - Refer to Section 6.11 for "*Landscape Lighting*".
 - Refer to Section 6.18 for "*Prohibited Outdoor Lighting*".
 - Refer to Section 4.48 for "*Holiday Lights and Holiday Decorations (Temporary)*".
- 6.14. String Lights.** String lights, strand lights, "festival lights", "party lights", "cafe lights", or other lights that are attached to continuous strands or cables may be allowed when approved by the DRC and subject to compliance with the following design criteria:
- a) The DRC reserves all rights to approve, approve with stipulations, or disapprove the use of String Lights at its sole discretion on a case-by-case basis, giving consideration to the unique aspects of each property. The use of String Lights must be considered "reasonable" in the opinion of the DRC. The DRC reserves the right to create special stipulations or to allow minor exceptions as deemed appropriate by the DRC on a case-by-case basis.
 - b) String lights are not allowed in the Front Yard Zone, including on front porches, covered front entries or balconies; nor in the Neighborhood Frontage Zone.
 - c) String lights are allowed in the Rear Yard Zone, including covered patios and shade structures.
 - d) String Lights are not allowed on Docks, gangways, and Decks in the Lagoon Zone, unless specifically approved otherwise by the DRC.
 - e) String lights must be located a minimum of five feet (5'-0") from any side property line; and a minimum of five feet (5'-0") from any fence or yard walls adjacent to another residential property.
 - f) String lights may not be mounted higher than ten feet (10'-0") above the adjacent finished grade or the bottom of the lowest single-story roof eave of the existing house, whichever is more restrictive.
 - g) String lights may not be mounted lower than seven feet (7'-0") above the adjacent finished grade.
 - h) String lights are allowed to be anchored directly to the home, shade structure, or Accessory Structure. The string lights must be connected at or below the lowest roof eave line of the home.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- i) A maximum of three (3) free-standing posts are allowed to support the string lights, if necessary. If free-standing support posts are necessary, the support posts must be structurally strong enough to avoid bending or bowing. In general, the size of a support post shall be between 2½" diameter minimum and 3½" diameter maximum. Any posts shall be installed and maintained vertical and plumb. The posts may not bend, bow or lean. Any support posts shall be painted to complement the color scheme of the home.
- j) No more than three (3) strands of string lights may terminate at the same connection point.
- k) All strands of string lights shall be installed taut, tight, and relatively straight. No swags or "drooping" strands of lights are allowed. String lights are not allowed to be oriented in a vertical or sloped orientation.
- l) The individual bulbs must be spaced a minimum of eighteen (18") apart on center.
- m) No more than fifty (50) total bulbs are allowed as part of string lights.
- n) No more than one hundred (100) lineal feet total of string lights are allowed.



- o) Each individual light bulb may not exceed 66 lumens (the equivalent of an 11-watt incandescent bulb).
- p) Bulbs may be white or clear. Antique filament lights (i.e. "Antique Lights", "Vintage Lights", or "Edison Lights" are allowed). Colored lights, color lenses and colored shades are not allowed. LED lights that have the ability to change colors are not allowed.
- q) Lights may not flicker, flash, blink, animate, or change colors.
- r) String lights with decorative shapes, or with decorative or thematic shades, are not allowed.
- s) "Rope lights", "holiday lights", and "mini-light strings" like those commonly used for holiday decorations are not allowed as string lights under this criteria.
- t) String lights should not be on past 10:00pm unless the outdoor space is actively being used at the time.
- u) String lights are not allowed to be used as security lighting.
- v) Owners shall be required to maintain the string lights in an attractive manner at all times. If the appearance of the string lights becomes unsightly, the Owner shall immediately remove, repair, or replace the string lights.
 - Refer to Section 4.48 for "*Holiday Lights and Holiday Decorations (Temporary)*".
 - Refer to Section 6.15 for "*Temporary Event Lighting at Decks and Docks*".
 - Refer to Section 7.11. for "*Lighting at Decks in the Deck Easement in the Lagoon Zone*".
 - Refer to Section 8.19. for "*Dock Lighting*".
 - Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

6.15. Temporary Event Lighting at Decks and Docks. In order to enhance the “Delta Lifestyle”, short-term temporary string lights and strand lights are allowed at Decks and Docks for events, parties and special gatherings without the need for specific approval from the DRC provided that such lights comply with the following design criteria.

- a) Temporary string lights and strand lights may be installed at a Deck or Dock on a short-term basis not to exceed seventy-two (72) continuous hours in total. In general, the temporary lights shall be installed no more than twenty-four (24) hours before the event and shall be removed in their entirety within twenty-four (24) hours after the event.
- b) The location of Temporary Event Lighting at a Deck or Dock shall be limited to illumination of the specific event area that will host the event and the guests at either the Deck or Dock. Temporary Event Lighting may not be mounted higher than ten feet (10'-0”) above the adjacent walking surface. Temporary Event Lighting is not allowed in the Front Yard Zone or in the Neighborhood Street Frontage Zone.
- c) The color of lights used for Temporary Event Lighting is limited to “white” or “clear” bulbs. Colored lights, as well as lights that blink or flash are not allowed for Temporary Event Lighting.

6.16. Holiday and Seasonal Temporary Lighting.

- Refer to Section 4.48 for *"Holiday Lights and Holiday Decorations (Temporary)"*.
- Refer to Section 6.15. for *"Temporary Event Lighting at Decks and Docks"*.
- Refer to Section 6.17. for *"Permanent Holiday Eave Lights"*.

6.17. Permanent Holiday Eave Lights: New lighting technology has recently developed commercially-manufactured lighting products that are comprised of tiny LED strip lights that can be discretely mounted to the underside of the fascias at the roof eaves and overhangs of the home in a permanent manner to provide holiday lighting. Permanent Holiday Eave Lights may be allowed when approved by the DRC and subject to compliance with the following design criteria.

- a) The locations and extents of the Permanent Holiday Eave Lights are only allowed to be discretely mounted below and behind the roof fascias and roof eaves at the following locations:
 - i) On the elevations of the home that face the street.
 - ii) On the elevations of the home that face the Lagoon.
 - iii) In general, Permanent Holiday Eave Lights are not allowed on any elevation of the home that faces a neighboring residential property. On a case-by-case basis, the DRC may allow Permanent Holiday Eave Lights on a portion of the side elevation of the home for a distance not to exceed ten feet (10'-0”) maximum from the waterfront façade of the home. In such cases, the DRC will evaluate potential impact to neighboring properties when considering such a request. The DRC reserves the right to not approve Permanent Holiday Eave Lights on the side elevation of any home that faces a neighboring property at the sole discretion of the DRC.
 - iv) The DRC reserves the right to not approve Permanent Holiday Eave Lights in any location that the DRC deems to be inappropriate in its sole discretion.
- b) Permanent Holiday Eave Lights are intended to be located at the eave and overhangs of the roof of the home; and are not allowed to be mounted to the roof surface, wall surface, posts, columns, trim or other architectural elements of the house or any accessory structure, Dock, Deck, wall, railing, or fence. Permanent Holiday Eave Lights may not be mounted in a vertical orientation or any other layout or pattern deemed inappropriate by the DRC.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- c) The Permanent Holiday Eave Lights shall be securely mounted below and behind the fascias of the roof overhangs in order to minimize the visibility of the light fixtures to the greatest extent possible. The objective is that the Permanent Holiday Eave Lights have minimal visibility when not in use.
- d) The color of the housing or track of the Permanent Holiday Eave Lights shall exactly match the color of the existing wood fascias of the house. The objective is that the Permanent Holiday Eave Lights have minimal visibility when not in use.
- e) Exposed cables, conduits, control boxes, and accessories associated with the Permanent Holiday Eave Lights shall be located in the least conspicuous locations possible and shall be painted to match the color of the adjacent building surface to which they are mounted.
- f) The Permanent Holiday Eave Lights are only allowed to operate during the following time periods:
 - i) October 1st to November 6th for the Halloween / Autumn season.
 - ii) Thanksgiving to January 10th for the Holiday / Christmas season.
 - iii) **The Permanent Holiday Eave Lights may not be illuminated or operated during any other times of the year; even for short-term or temporary uses.** Failure to comply may result in the requirement to remove the Permanent Holiday Eave Lights in their entirety, regardless of cost, loss, effort or inconvenience.
- g) Permanent Holiday Eave Lights may not be used as security lighting or for general illumination.
- h) Permanent Holiday Eave Lights may not be used for landscape lighting.
- i) Permanent Holiday Eave Lights shall be maintained in an attractive and well-kept manner at all times. If the lights become broken, dilapidated, or otherwise unsightly, the Owner shall immediately remove, repair or replace the lights.
 - Refer to Section 4.48 for "*Holiday Lights and Holiday Decorations (Temporary)*".
 - Refer to Section 6.15. for "*Temporary Event Lighting at Decks and Docks*".
 - Refer to Appendix A for the definition of "*Permanent Holiday Eave Lights*".

6.18. Prohibited Outdoor Lighting. The following outdoor lighting elements are prohibited for residential use, unless otherwise approved by the DRC.

- a) Bare or exposed bulbs (unless specifically allowed otherwise by these Design Guidelines).
- b) Outdoor lighting that is mounted higher than the eave line of the house or more than ten feet (10'-0") above adjacent finished grade (whichever is the smaller dimension) is not allowed, unless otherwise approved by the DRC.
- c) Pole-mounted or post-mounted lights are prohibited, except for low-scale pole mounted landscape path lights that are twenty-four inches (24") tall or less.
- d) Colored lights and colored lenses are not allowed (except as allowed for Holiday and Seasonal Temporary Lighting, as outlined in Section 4.48 of these Design Guidelines).
- e) Lights that flash, flicker, blink, twinkle, strobe, move, animate, change colors, or similar are not allowed (except as allowed for Holiday and Seasonal Temporary Lighting).
- f) "Rope Lights" that are exposed or visible from Public View are not allowed in any location including Docks, gangways and Decks.
- g) "Mini Light Strings" like those commonly used for holiday decorations, that are exposed or visible from Public View are not allowed (except as allowed for Holiday and Seasonal Temporary Lighting).
- h) Clear metal halide, high-pressure sodium, and mercury vapor lights are not allowed for residential uses.
- i) Unshielded floodlights or spotlights are not allowed.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

j) Due to the wide variety of lighting types and the ever changing technology of lights, the DRC reserves all rights to not approve any Outdoor Lighting that it deems, in its sole discretion, to be not appropriate for the Community.

6.19. Interior Lighting. Although these Design Guidelines do not specifically restrict or regulate interior lighting, the DRC reserves the right, without the obligation, to address interior lighting issues on a case-by-case basis that the DRC believes, in its sole discretion, to be a nuisance.

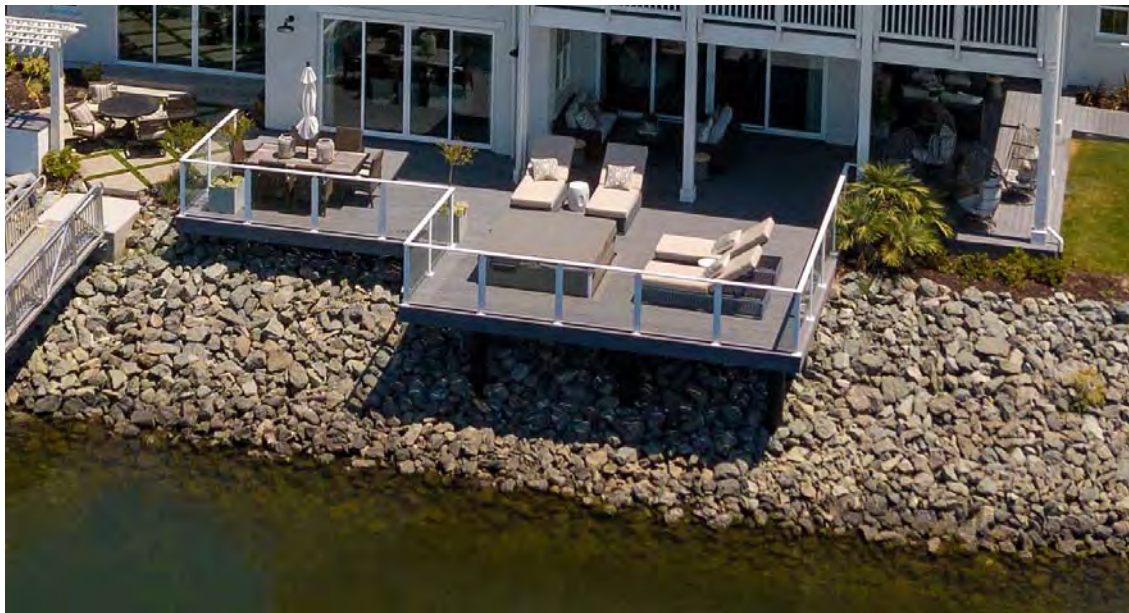
6.20. New Lighting Technology. New lighting technology will be reviewed by the DRC on a case-by-case basis.

Section 7

DESIGN STANDARDS FOR DECKS IN THE DECK EASEMENT IN THE LAGOON ZONE AND DECK-RELATED IMPROVEMENTS

7.1. Overview.

- a) These Design Guidelines conditionally allow for certain types of Decks and associated deck-related improvements to be constructed, used and maintained within the established and recorded Deck Easement in the Lagoon Zone in order to create usable outdoor living spaces that take advantage of the water's edge and the Delta Lifestyle. Although certain types of Decks and associated deck-related improvements may be conditionally allowed within the Deck Easement Area, there are numerous requirements, restrictions, conditions, and design standards that must be adhered to as further outlined in this section of the Design Guidelines.
- b) All Decks and deck-related improvements must be reviewed and approved by the DRC prior to construction.
- c) Furthermore, all Decks and deck-related improvements in the Deck Easement in the Lagoon Zone must be reviewed, approved and permitted by applicable governing agencies, including but not limited to BIMID and the County.
 - Refer to Section 7.2 for *"Deck Easement"*.
 - Refer to Section 3.6 for *"Lagoon Zone"*.
 - Refer to Section 7.18 for *"BIMID Requirements for Decks in the Deck Easement in the Lagoon Zone"*.
 - Refer to Appendix H for *"Outline of the Review and Approval Process for a Deck in the Lagoon Zone"*



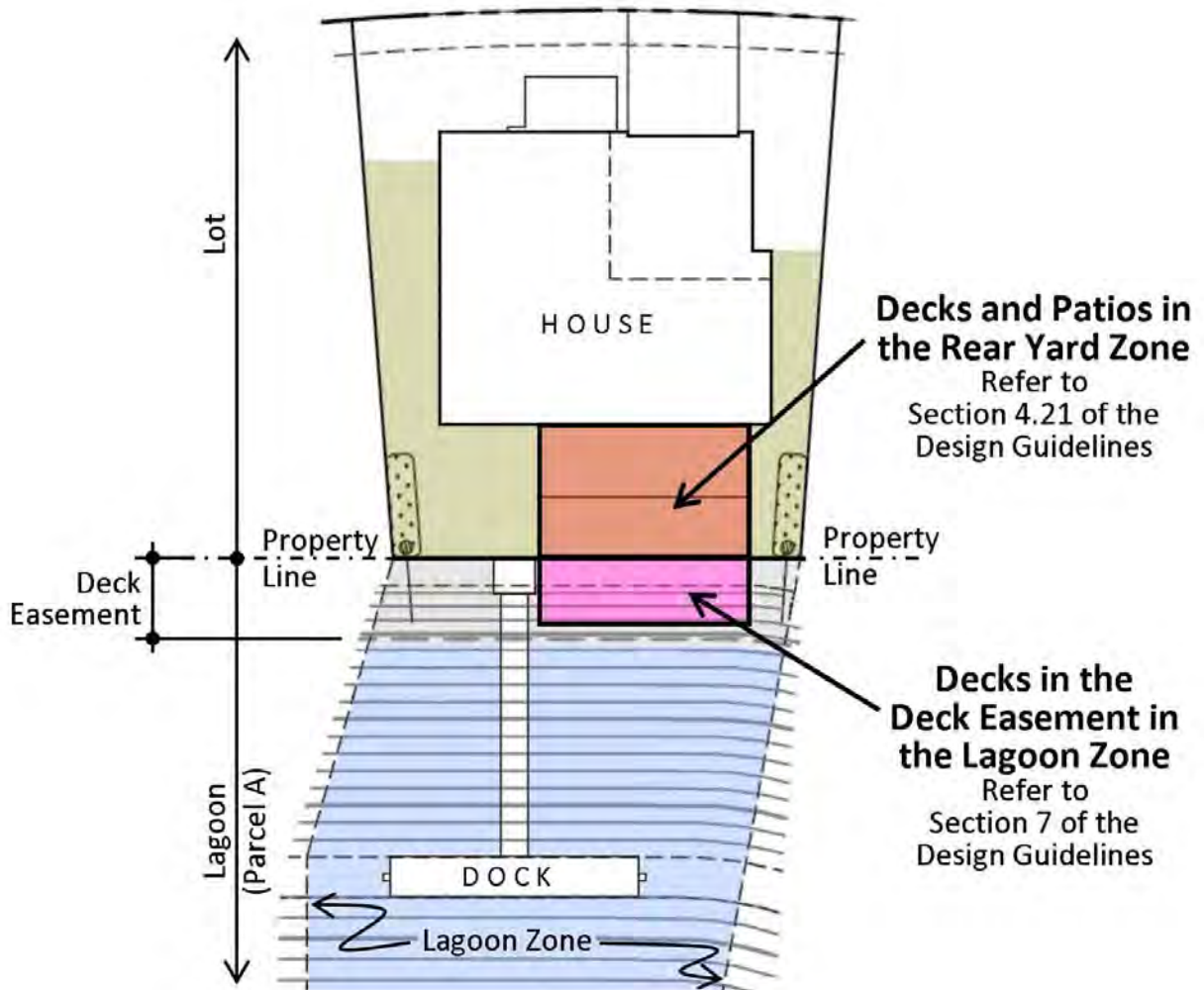
An example of a Deck in the Deck Easement in the Lagoon Zone

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

REFERENCE:

For Decks and Patios located entirely within the property lines of the Lot, refer to Section 4.21 of the Design Guidelines.

The Design Criteria in Section 7 applies to Decks in the Deck Easement in the Lagoon Zone.



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

7.2. Deck Easement:

- a) A Deck Easement has been established and recorded for the benefit of each residential Lot in Delta Coves, as further explained below.
- b) The Deck Easement is a permanent, non-exclusive, easement that has been recorded over portions of the rock slope bank of the Lagoon (Parcel A) that is contiguous with each residential Lot for the purpose of allowing the construction, use, maintenance and replacement of a Deck and deck-related improvements within the defined Deck Easement Area.
- c) The Deck Easement is recorded in the official records of the Contra Costa County Recorder Office as instrument #2020-0227303; including any amendments that may be recorded from time to time.
- d) For clarity, the extents of the Deck Easement Area as measured from side-to-side and parallel to the waterward property line(s) of each Lot are further defined by the Lagoon Zone that is specifically delineated on the Site Plan for each Lot. The boundaries of the Lagoon Zone establish the side-to-side extents of the Deck Easement Area for each individual Lot.
- e) For clarity, the Deck Easement Area is not located within the individual Lot. The Deck Easement Area is located over portions of the Lagoon (Parcel A) which is owned by the Delta Coves Maintenance Corporation. The area within the Lagoon (Parcel A) has numerous restrictions and requirements as established by local, state and federal governing agencies; therefore, although a Deck and deck-related improvements may be allowed in the Deck Easement Area, the Owner and Contractor must understand that any improvements located beyond the property line of the Lot and located within the Deck Easement Area are subject to additional design criteria as outlined herein; as well as additional design criteria, restrictions, reviews, approvals and inspections from applicable governing agencies, including but not limited to BIMID and the County.
- f) For clarity, the Design Guidelines, as well as the applicable requirements of other governmental regulations, may include design criteria and restrictions that are additive, complementary, and/or more restrictive than the terms of the recorded Deck Easement.
- g) The Owner is responsible for the care and maintenance of all improvements installed or maintained by the Owner (or any prior property owners) in the Deck Easement Area.
 - Refer to Appendix A for the Definition of the “Site Plan”.
 - Refer to Appendix A for the Definition of the “Lagoon Zone”.
 - Refer to Appendix A for the Definition of the “Lagoon”.

7.3. Public Levee Maintenance Easement (LVME). A Public Levee Maintenance Easement (LVME) exists over the entirety of the Lagoon (Parcel A) including the rock slope bank and the Deck Easement Area. Refer to Section 3.7 of these Design Guidelines for an explanation of the Public Levee Maintenance Easement (LVME).

7.4. 5’ Levee Access and Maintenance Area (LAMA) for Perimeter Levee Lots. A 5’ Levee Access and Maintenance Area (LAMA) exists over a portion of each Perimeter Levee Lot adjacent to the Deck Easement Area. Refer to Section 3.8 of these Design Guidelines for an explanation of the 5’ Levee Access and Maintenance Area (LAMA) for all Perimeter Levee Lots.

7.5. Layout, Shape and Appearance of a Deck in the Deck Easement in the Lagoon Zone.

- a) The design, shape, character, details, colors, materials and appearance of a Deck in the Deck Easement in the Lagoon Zone must complement the architectural style of the home and should integrate with the overall rear yard landscape design of the property.
- b) In general, the shape of a Deck in the Deck Easement in the Lagoon Zone shall be simple geometry that relates to the architecture of the home, such as simple rectangular shapes that are parallel and perpendicular to the horizontal geometry of the home. Dramatic, bold, undulating, sharp or random geometry will not be approved for the shape of a Deck in the Deck Easement Area. The objective is that the design of the Deck should subtly complement and match the architecture of the home, as determined in the sole discretion of the DRC.
- c) Deck designs and Deck details that are considered dramatic, bold, artistic, whimsical, odd, unusual, or otherwise not in keeping with the architecture of the home and the character of the community will not be approved, as determined in the sole discretion of the DRC.

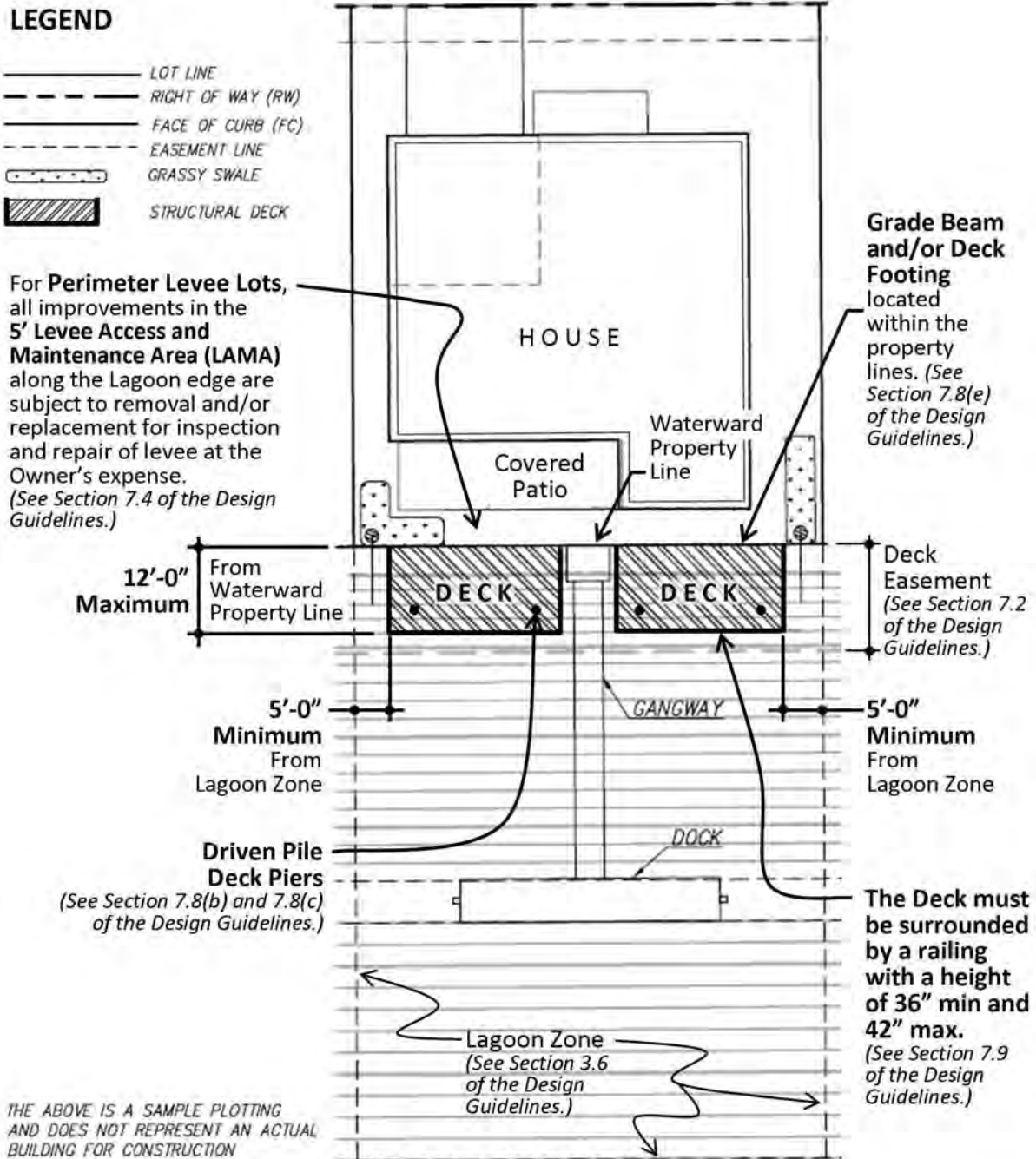
As shown in this example, the shape, forms, geometry, colors and appearance of the Deck relate to the architecture of the home.



7.6. Location and Setbacks for a Deck in the Deck Easement in the Lagoon Zone.

- a) A Deck and other deck-related improvements in the Deck Easement in the Lagoon Zone shall not extend more than twelve feet (12'-0") beyond the waterfront property line and into the Lagoon Zone. *(Refer to the attached illustrations below for further explanation.)*
- b) A Deck and other deck-related improvements in the Deck Easement in the Lagoon Zone shall be located a minimum of five feet (5'-0") from each side of the Lagoon Zone. *(Refer to the attached illustrations below for further explanation.)*
- c) Piles must be inset a minimum of 24" from the outer perimeter of the Deck at all exposed sides in order to emphasize the cantilevered condition so the Deck appears to float above the rock bank of the Lagoon.

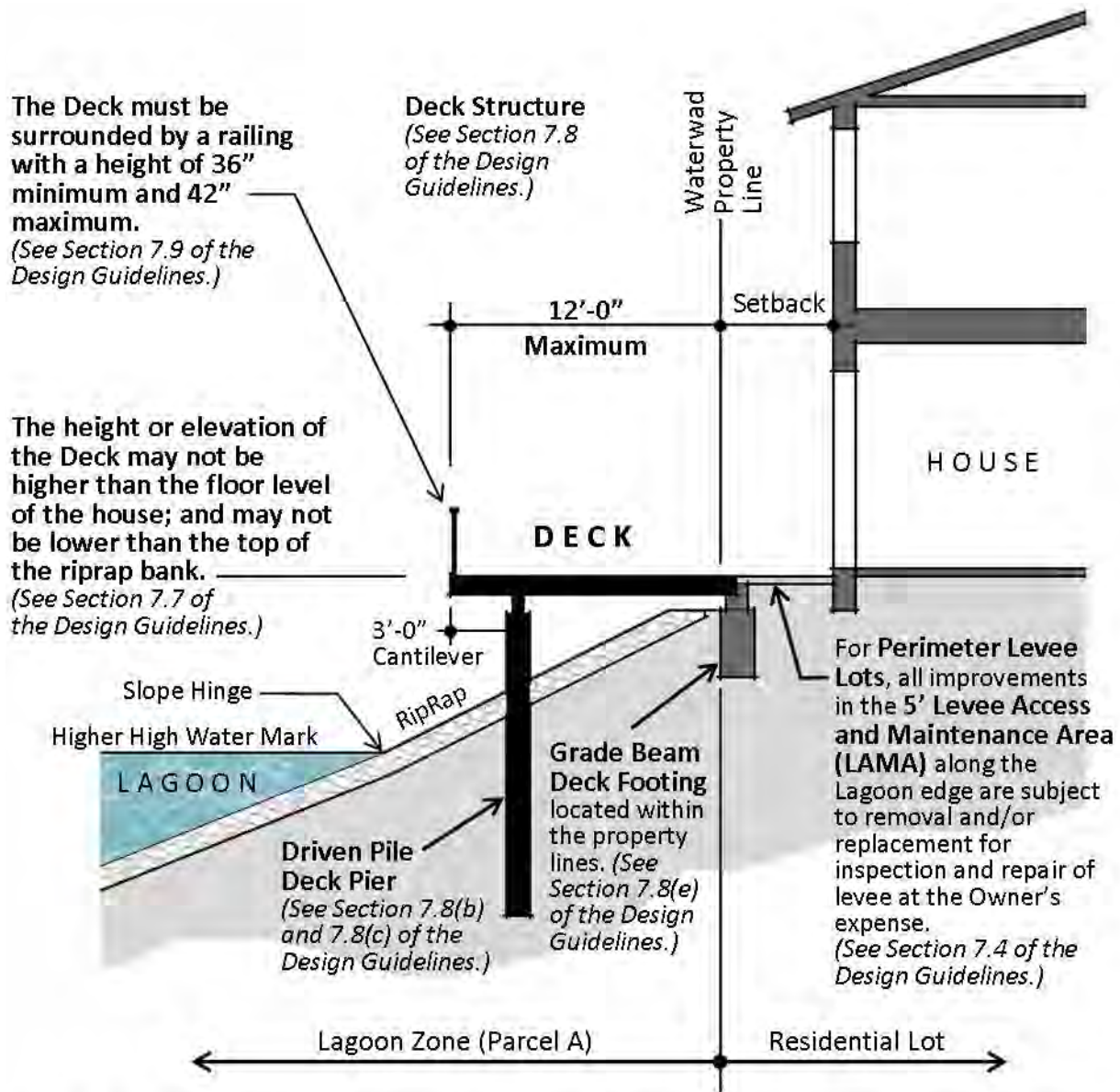
All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.



For All Lots: All improvements within the Lagoon (Parcel A) including the rock slopes of the Lagoon bank are subject to the **Public Levee Maintenance Easement (LVME)**. All improvements of any type within the Public Levee Maintenance Easement (LVME) are subject to removal and/or replacement for inspection, maintenance and repair of the levee at the Owner's expense. (See Section 7.3 of the Design Guidelines for further explanation.)

Location Criteria for a Deck in the Deck Easement in the Lagoon Zone

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.



For All Lots: All improvements located within the Lagoon (Parcel A) including the rock slopes of the Lagoon bank are subject to the **Public Levee Maintenance Easement (LVME)**. All improvements of any type within the Public Levee Maintenance Easement (LVME) are subject to removal and/or replacement for inspection, maintenance and repair of the levee at the Owner's expense. (See Section 7.3 of the Design Guidelines for further explanation.)

Location Criteria for a Deck in the Deck Easement in the Lagoon Zone

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

7.7. Height and Elevation of a Deck in the Deck Easement in the Lagoon Zone.

- a) The elevation (or height above grade) of the walking surface of a Deck in the Deck Easement in the Lagoon Zone may not be higher than the primary ground-level floor elevation of the home.
- b) The elevation (or height above grade) of the walking surface of a Deck in the Deck Easement in the Lagoon Zone shall be a minimum of twelve inches (12”) higher than the top of the existing riprap bank around the Lagoon, in order to avoid disturbing the top of the riprap bank.

7.8. Structure of a Deck in the Deck Easement in the Lagoon Zone.

- a) Decks in the Deck Easement in the Lagoon Zone shall be supported above the existing riprap slope of the Lagoon by means of driven pilings that are spaced a minimum of ten feet (10’-0”) and a maximum of eighteen (18’-0”) apart.
- b) All pilings shall be constructed of steel with a proper protective coating. Due to geotechnical conditions, wood and concrete pilings are not allowed, unless specifically approved otherwise by the DRC.
- c) Applicable governing agencies have restrictions regarding certain times of year that pilings can and cannot be installed in the riprap bank of the Lagoon Zone based on various environmental conditions. At this time, Deck pilings in the riprap bank of the Lagoon Zone may **ONLY** be installed between August 1st and November 30th of each calendar year per requirements of governing agencies. Owners and Contractors need to properly plan and schedule their Deck projects to comply with these dates.

HINT:
Owners and Contractors need to properly plan and schedule their Deck projects to comply with these dates.

DECK PILINGS			
JANUARY	FEBRUARY	MARCH	APRIL
NOT Allowed	NOT Allowed	NOT Allowed	NOT Allowed
MAY	JUNE	JULY	AUGUST
NOT Allowed	NOT Allowed	NOT Allowed	Deck Pile Installation Allowed
SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER
Deck Pile Installation Allowed	Deck Pile Installation Allowed	Deck Pile Installation Allowed	NOT Allowed

- d) Retaining walls, structural walls, fin walls, foundation walls, and large piers are not allowed within the Lagoon Zone. The objective is to “float” the Deck over the existing riprap slope using piles with the least amount of disturbance to the riprap bank of the Lagoon as possible.
- e) A grade-beam and/or Deck footings shall be installed completely within the boundaries of the property line to provide structural support for the inboard side of the Deck. The grade-beam or Deck footing on the inboard side of the Deck may not be located within the Lagoon Zone and may not impact the existing riprap slope of the Lagoon edge.
- f) The Owner is responsible for all damages due to settlement, consolidation or heave from any construction-related activities, included, but not limited to the installation of Deck pilings.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- g) The Owner (and their designers, engineers, contractors and agents) are responsible for the proper structural design and engineering of any Deck, including but not limited to: support pilings, grade beams, footings, Deck structure, and railings; including compliance with all applicable codes, ordinances and regulations.
- h) As a reminder, the DRC only reviews Decks for location and aesthetics. The DRC does not review Design Review Applications for proper structural design, engineering design, geotechnical design, and safety design; nor for compliance with applicable codes, ordinances, policies and governmental regulations.

Typical Deck Structural Design Package.

- i) At this time, the engineering, structural calculations, materials, components, construction methods and structural design of all Decks in the Deck Easement in the Lagoon Zone must comply with the **Typical Deck Structural Design Package** that has been approved by the County.
- j) The County prefers, and at this time may require, the structural design of all Decks in the Lagoon Zone to comply with the existing approved **Typical Deck Structural Design Package**. The **Typical Deck Structural Calculation Package** is available from the County by referencing the applicable Building Permit numbers.
- k) The aesthetics of the Deck design, including the size, shape, railings, fascias and deck walking surface can easily be customized by an Owner while still using the **Typical Deck Structural Design Package** preferred by the County.
- l) Alternate structural designs for a Deck in the Lagoon Zone that do not comply with the **Typical Deck Structural Design Package**, as referenced above, may be considered on a case-by-case basis by the DRC, but the Owner needs to understand that alternate structural designs will involve additional engineering, reviews, coordination, time, costs, fees, approvals, and effort. The DRC and the County both reserve the right to not approve the structural design for a Deck deemed to be inappropriate at the sole discretion of either reviewing party.

Typical Deck Structural Design Package
approved by Contra Costa County includes:

- **Permit #6013**
Approved by the County at 4:19pm on October 5, 2020;
- **Permit #BIPRJ20-00013**
Approved by the County at 4:21pm on October 5, 2020;
- **Permit #BIPRJ20-00013 Revision 1**
Approved by the County at 9:49am on April 15, 2021.
- Including any amendments and revisions as may be approved by the County from time to time.



An example of a Deck in the Deck Easement in the Lagoon Zone

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

7.9. Railings, Guardrails, Wind Screens, and Fall Protection for a Deck in the Deck Easement in the Lagoon Zone.

- a) Railing Requirements:
 - i) Due to the rugged riprap along the Lagoon bank and the inherent potential danger of falling from an elevated Deck, a code-compliant guardrail is required around all sides of the Deck that are located in the Lagoon Zone.
 - ii) The height and structural design of all railings and guardrails shall comply with all codes and ordinances established by applicable governing agencies. The DRC reviews applications for aesthetics and does not review the design of railings and guardrails for structural integrity nor for compliance with applicable codes and ordinances.
- b) Railing Height: The height of a railing, guardrail, wind screen or fall protection around a Deck in the Lagoon Zone shall be thirty-six inch (36") tall minimum and forty-two inch (42") tall maximum, unless approved otherwise by the DRC.
- c) Railing Transparency: Any railing system used for a Deck in the Lagoon Zone shall be a minimum of eighty percent (80%) open or transparent to maintain visual openness to the Lagoon. Solid or opaque railings are not allowed around a Deck. Refer to the photographic examples below for further explanation.
- d) Railing Materials: Railings, guardrails and windscreens around a Deck shall be constructed of materials that are durable and low-maintenance, such powder-coated aluminum, stainless steel, and glass. Materials used to construct railings shall be able to withstand the local environmental and marine conditions. Materials for railing systems that deteriorate, fade, warp, or rust are not recommended; and may be prohibited by the DRC on a case-by-case basis.
- e) Acceptable Railing Systems:
 - i) Glass Railings:
 - o Code-compliant glass railing systems are allowed, including frameless systems and post-and-rail systems.
 - o All glass panels shall be clear.
 - o No patterned, colored, frosted, ornamental or decorative glass panels are allowed.
 - o Owners are required to maintain the glass panels in an attractive, clean, and well-kept appearance at all times. Owners need to be aware that glass railings require significantly more maintenance than other types of railings.
 - ii) Cable Railing System.
 - iii) Metal Railing System.
 - iv) Wood Frame and Metal Mesh Railing System.
 - v) Vertical Picket Railing System.
 - vi) Other types of railings or railing systems are subject to the review and approval by the DRC on a case-by-case basis. The DRC reserves the right to not approve any railing or railing system that it deems in its sole discretion to not be appropriate.
- f) Prohibited Railings:
 - i) Highly ornamental, highly-artsy, highly-decorative, or boldly-colored railings.
 - ii) Chain-link.
 - iii) Solid or opaque railings.
 - iv) Other railings and railing systems deemed inappropriate by the DRC in its sole discretion.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.



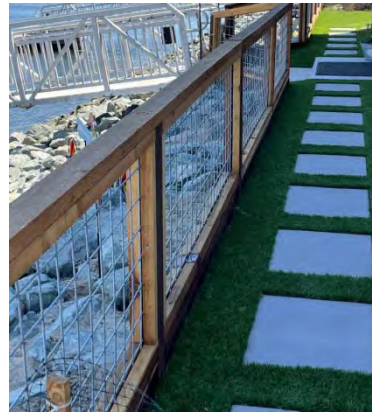
Example of Glass Railing System



Example of Cable Railing System



*Example of Metal Railing System
With Horizontal Bars*



Example of Wood and Wire Mesh Railing System



*Example of Vinyl Railing System
With Vertical Pickets*

HINT:

The design of the railing around the Deck shall be relatively clean, simple and subtle.

Avoid decorative, ornate, dramatic, or “artsy” types of railing designs.

All railing types must be clear or at least 80% transparent in order to maintain the openness toward the water.

All materials shall be durable and low-maintenance.

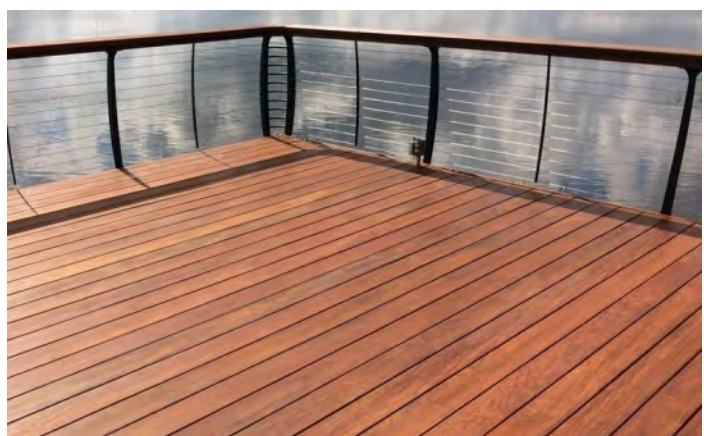
All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

7.10. Deck Surface for a Deck in the Deck Easement in the Lagoon Zone.

- a) The walking surface of a Deck in the Lagoon Zone shall be constructed of durable, high-quality, and low-maintenance materials.
- b) Acceptable Deck surface materials include:
 - i) Hardwoods (such as Redwood, Cedar, Ipe or Indian Teak) treated with a penetrating sealer, matte finish stain, or marine grade paint.
 - ii) Composite Decking (such a Fiberon®, TimberTech AZEK®, or Trex®).
- c) Prohibited Deck surface materials include:
 - i) Artificial Turf.
 - ii) Outdoor Carpeting.
 - iii) Wood materials that cannot withstand the environmental elements.
 - iv) Concrete.
 - v) Other Deck surface materials deemed inappropriate by the DRC in its sole discretion.
- d) The color of the Deck surface shall be earthy and neutral colors that complement the architecture and color palette of the home; such as browns, tans, and grays.
- e) As a reminder, all Decks in the Lagoon Zone are located within the Public Levee Maintenance Easement (LVME); and, therefore, are subject to removal to allow for inspection, maintenance and repair of the rock slopes around the Lagoon. *(Refer to Section 3.7 of these Design Guidelines for further explanation.)*



Example of Composite Decking

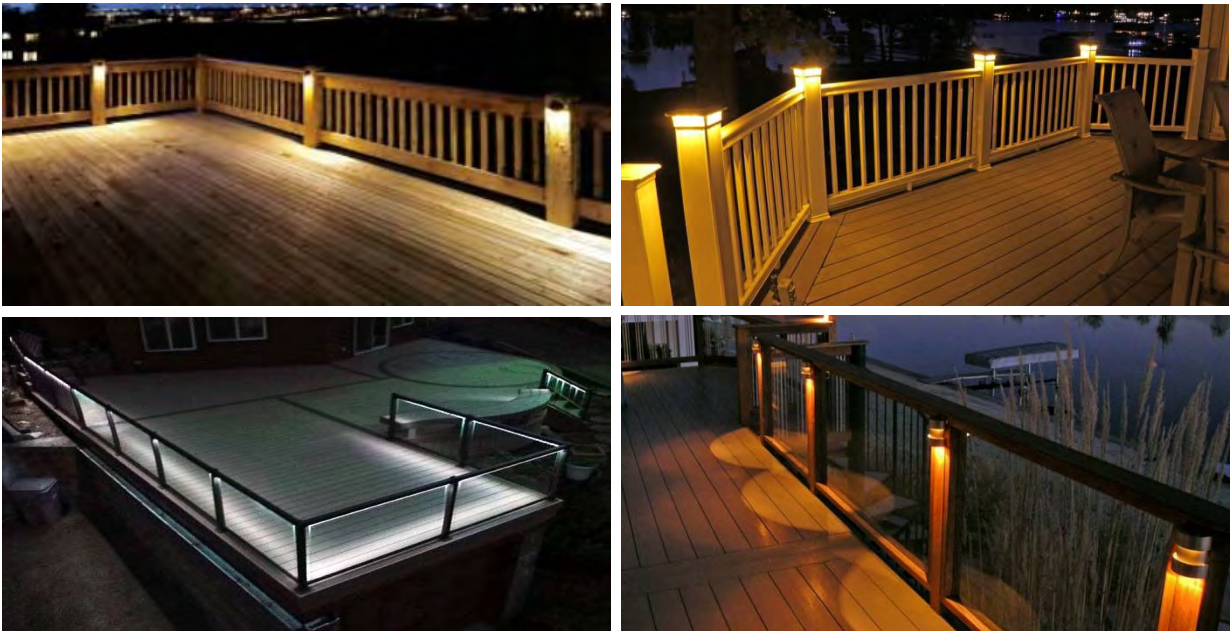


Example of Ipe Hardwood Decking

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

7.11. Lighting at a Deck in the Deck Easement in the Lagoon Zone.

- a) All outdoor lighting for a Deck in the Deck Easement in the Lagoon Zone must comply with the design criteria in Section X of the Design Guidelines.
- b) In general, the height of any light fixture on a Deck in the Lagoon Zone must be located forty-two (42”) or less above the Deck walking surface, unless specifically approved otherwise by the DRC. Refer to the illustrations below for appropriate examples of lighting at a Deck.
- c) All exterior lighting shall be fully-shielded, as defined in Section 6.3 of these Design Guidelines.
- d) Exterior lighting at a Deck should be soft, subtle and integrated into the design of the Deck.
- e) Lineal lights that are part of the top rail of the railing system around the Deck may be allowed if the light source is fully-shielded from Public View. Rope lights are not allowed unless fully shielded and shrouded.
- f) Lights that are located below the walking surface of the Deck or under the Deck are not allowed.
- g) Lights attached to a Deck that are oriented or directed to the riprap bank or the water are not allowed.
- h) String lights, strand lights, café lights, and similar types of strand lights are not allowed on a Deck in the Lagoon Zone.
- i) Exterior lights that are colored, change colors, flash, or blink are not allowed at a Deck (except for temporary holiday lights).
- j) Holiday lights at a Deck shall comply with the criteria in Section 4.48 of the Design Guidelines.
- k) All outdoor lighting at or on a Deck must be approved by the DRC prior to installation (except for temporary holiday lights). The DRC reserves the right to not approve any proposed lighting that is determined in the sole discretion of the DRC to be excessive, intrusive or objectionable.
- l) Refer to Section 6 of these Design Guidelines for additional design criteria regarding Outdoor Lighting.
 - Refer to Section 6 for *"Outdoor Lighting Standards"*.
 - Refer to Section 6.15. for *"Temporary Event Lighting at Decks and Docks"*.



Examples of subtle, integrated, and fully-shielded lighting at a Deck railing.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- 7.12. Other Deck-Related Improvements in the Deck Easement in the Lagoon Zone.** The following items are allowed to be located on a Deck in the Deck Easement in the Lagoon Zone, subject to compliance with the established design criteria for each item.
- a) Outdoor Furniture, outdoor furnishings, and outdoor rugs. *(Refer to Section 4.37 of the Design Guidelines for additional requirements.)*
 - b) Fire Pits, Fire Bowls, and Fire Tables (less than 42" tall) if approved by the DRC prior to installation. *(Refer to Section 4.32 of the Design Guidelines for additional requirements.)*
 - c) Portable Barbeque Grills and Portable Outdoor Cooking Equipment. *(Refer to Section 4.12 of the Design Guidelines for additional requirements.)*
 - d) Umbrellas. (less than 10'-0" tall). *(Refer to Section 4.99 of the Design Guidelines for additional requirements.)*
 - e) Above-Ground Pre-Manufactured Spa Unit if approved by the DRC prior to installation. *(Refer to Section 4.66(k) of the Design Guidelines for additional requirements.)*
 - f) Portable Patio Heaters. *(Refer to Section 4.56 of the Design Guidelines for additional requirements.)*
 - g) Potted Plants and Free-Standing Planters. (less than 42" tall with plants that are maintained to a height of less than 48" tall as measured above the Deck surface). *(Refer to Section 4.64 of the Design Guidelines for additional requirements.)*
 - h) Exterior Artwork, Sculpture and Ornamentation. (less than 42" tall). *(Refer to Section 4.9 of the Design Guidelines for additional requirements.)*
 - i) Other accessories as deemed acceptable by the DRC in its sole discretion on a case-by-case basis.
 - j) The DRC reserves the right to not approve or not allow any item, accessory, or improvement on a Deck that the DRC deems to be inappropriate in its sole discretion.
 - k) As a reminder, all improvements in the Deck Easement are also located within the Public Levee Maintenance Easement (LVME); and, therefore, such improvements are subject to removal to allow for the periodic inspection, maintenance and repair of the rock slopes around the Lagoon. *(Refer to Section 3.7 of these Design Guidelines for further explanation.)*
- 7.13. Prohibited Improvements on a Deck in the Deck Easement in the Lagoon Zone.** The following items are prohibited from being located on a Deck in the Deck Easement in the Lagoon Zone, unless specifically approved otherwise by the DRC.
- a) Except for the support pilings and grade beam/footings for the Deck itself, no structures, components, accessories, or elements are allowed to extend to the ground or to extend to the sloped riprap bank within the Lagoon Zone.
 - b) Shade Structures, shade sails, arbors, pergolas, gazebos, or any other type of roofed or roof-like structures. (Not including portable umbrellas or retractable building-mounted awnings).
 - c) Outdoor Fireplaces.
 - d) Swimming Pools.
 - e) Spas that have any portion of the spa located lower than the walking surface of the Deck.
 - f) Antenna or Satellite Dish.
 - g) Flag Poles. (Flags on removable support rods in which the highest point of the flag is no more than eight feet (8'-0") above the Deck surface are allowed on a Deck in the Lagoon Zone.)

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- h) Storage, including long term storage of personal watercraft such as canoes, paddle boards and kayaks. For the purpose of this section, long term storage is considered storage for seventy-two (72) hours or more. The DRC recommends that Owners use the side yard or the garage for storage of such items.
- i) Storage of any items of any type under the Deck.
- j) Any improvements or accessories taller than forty-two inches (42”) above the Deck surface except for:
 - o Umbrellas (less than 10’-0” tall).
 - o Patio Heaters (less than 9’-0” tall).
 - o Flags (less than 8’-0” tall).
- k) The DRC reserves the right to not approve or not allow any item, accessory, or improvement on a Deck in the Deck Easement in the Lagoon Zone that the DRC deems to be inappropriate in its sole discretion.

7.14. Various Deck Improvements.

Because there are so many different possibilities for Decks, railings, and deck accessories, the DRC will review Deck and deck-related improvements on a case-by-case basis. The approval of the location, size, height, placement, materials, colors and appearance of all Decks and deck-related improvements are at the sole discretion of the DRC. The DRC reserves all rights to not approve any Deck or deck-related improvements that are deemed to be inappropriate in the sole discretion of the DRC including, but not limited to, reasons of: size, scale, height, form, shape, prominence, visual impact, details, colors, materials and/or appearance.

7.15. Deck Maintenance and Appearance.

- a) Owners are responsible to maintain the Deck and all deck-related improvements in an attractive and well-kept manner at all times.
- b) Owners are responsible to maintain the area below and under the Deck in a clean and weed-free manner at all times.
- c) Storage of items; including, but not limited to: materials, accessories, supplies, equipment, firewood, and personal watercraft (i.e. kayaks, canoes and paddleboards) below or under the Deck is strictly prohibited.

7.16. Maintenance within the Lagoon Zone.

- a) Owners are responsible for the remediation and/or removal of any plant growth, trash and debris within the Lagoon Zone associated with their property, including any areas along the riprap embankment, under the Deck, and in the water. No visible plant material at the surface shall be permitted and the subsurface shall be regularly maintained and kept weed free.
- b) Refer to the “*Lagoon Maintenance Policy*” of the DCMC for more information and additional requirements. Contact the DCMC for questions related to the proper maintenance protocols for the area within the Lagoon Zone.
 - Refer to Section 5.41 for “*Maintenance within the Lagoon Zone*”.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

7.17. Delta Coves Design Review Application Submittal Requirements for a Deck in the Lagoon Zone.

The Applicant shall submit a complete, clear, detailed and easy-to-understand Design Review Application to the DRC that clearly explains the location, use, function, size, dimensions, height, materials, colors, and appearance of all proposed Deck and deck-related improvements. A Design Review Application for a Deck in the Deck Easement in the Lagoon Zone shall include:

- a) **Delta Coves Design Review Application Form:** The Application Form is available online at: www.deltacovesresidents.com.
- b) **Photographs:**
 - i) A clear and legible color photograph of the entire front of the home taken from a vantage point on the street.
 - ii) A clear and legible color photograph of the entire rear of the home taken from a vantage point on the Dock.
 - iii) Clear and legible color photographs of the location(s) of the proposed Deck(s).
- c) **Site Plan / Plot Plan** showing:
 - i) Lot lines and dimensions.
 - ii) Existing easements and dimensions.
 - iii) Deck Easement.
 - iv) Lagoon Zone and dimensions.
 - v) Existing house footprint.
 - vi) Existing gangway location.
 - vii) Existing Dock location.
 - viii) Existing Bio-Swale locations.
 - ix) Location and dimensions of proposed Deck improvements.
 - x) Setbacks, including accurate dimensions from the Deck to the Lagoon Zone boundary.
 - xi) Existing elevation (height about sea level) of the lot taken at the corners of all waterfront property lines.
 - xii) Proposed Deck elevation (height above sea level).
 - xiii) Perimeter Levee Maintenance Easement (LVME) (when applicable for a Perimeter Levee Lot.)
 - xiv) 5' Levee Access and Maintenance Area (LAMA) (when applicable for a Perimeter Levee Lot.)
 - xv) Location and elevation of the Higher High Water Mark of the Lagoon.
 - xvi) Location, quantity, size and type of Deck pilings, including dimensions.
 - xvii) County Building Permit Number for the Typical Deck Structural Design Package. (County Building Permits: #6013; #BIRPJ20-00013; #BIRPJ20-00013-REV1 including any amendments and revisions as may be approved by the County from time to time.)
 - xviii) Location, height, extents and type of Deck railing.
 - xix) Owners name.
 - xx) Property address.
 - xxi) Lot number.
 - xxii) North arrow and scale.
 - xxiii) BIMID approval signature block.
 - xxiv) 11" x 17" sheet format.
 - A base Plot Plan can be obtained from the Original Homebuilder to serve as a starting point for the site plan for the Deck.
 - Refer to the illustration below for an example of a Site Plan / Plot Plan.

HELPFUL HINT:
*Refer to the
EXAMPLE SITE PLAN
below for an
illustrative explanation.*

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- d) **Drawings, Sketches and Plans:** The Applicant shall submit complete, clear, accurate, and easy-to-understand drawings, elevations, sketches and plans that fully explain the location, size, dimensions, height, materials, colors and appearance of the proposed improvements; including, but not limited to:
 - i) Pilings/Posts – including locations, dimensions, size, type and materials.
 - ii) Deck Grade Beam and/or footings – including locations, dimensions and materials.
 - iii) Railings – including locations, height, materials, type, colors and appearance.
 - iv) Deck Surface – including locations, materials, colors and appearance.
 - v) Deck Perimeter Fascia – including materials, colors and appearance.
- e) **Cut Sheets, Brochures, and Manufacturer Information:** The Applicant shall submit clear, accurate and easy-to-understand information to explain the products and materials that are proposed for the Deck including, but not limited to: manufacturer, product name, model numbers, type, sizes, dimensions, materials, colors and appearance. Please only provide specific and relevant information as part of the Design Review Application.
- f) **Colors and Materials:** The Applicant shall submit actual samples, color chips, color charts, brochures, or quality digital color photographic samples to explain all colors and materials for the proposed improvements.

Incomplete, inaccurate or vague Design Review Applications will not be approved. Incomplete, inaccurate or vague applications may result in the assessment of additional Design Review Fees; as well as a delay in the review of the application.

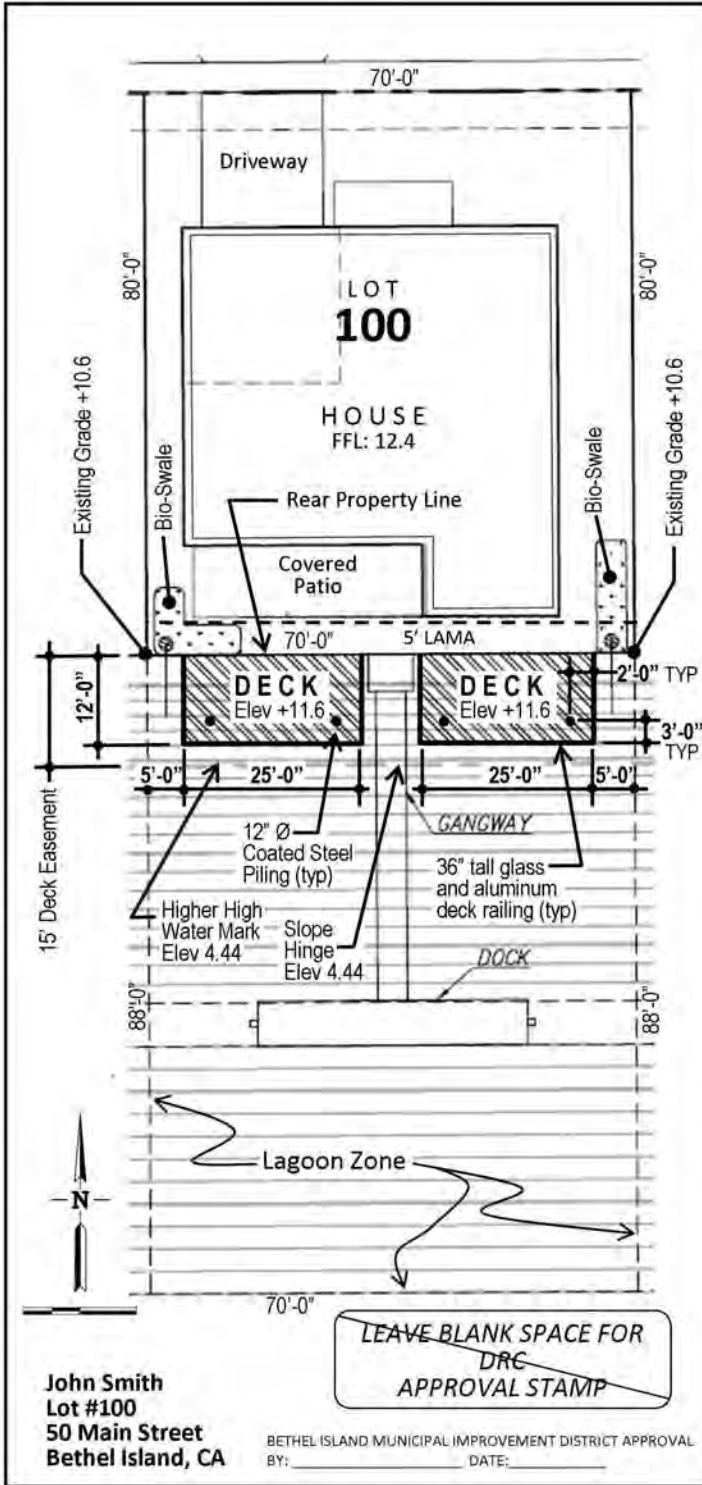
Design Review Application to the DRC can be submitted online at www.deltacovesresidents.com.

ALL DECKS IN THE DECK EASEMENT IN THE LAGOON ZONE MUST BE REVIEWED AND APPROVED BY THE DRC, BIMID, AND THE COUNTY PRIOR TO CONSTRUCTION.

REFER TO APPENDIX H

OF THESE DESIGN GUIDELINES FOR AN OVERVIEW OF THE REVIEW, APPROVAL AND INSPECTION PROCESSES FOR A DECK IN THE LAGOON ZONE.

Due to the complexity and detailed requirements, the DRC recommends that Owners retain experienced and qualified professional design services when designing a Deck in the Deck Easement in the Lagoon Zone.



Site Plan Requirements

For a Deck in the Deck Easement in the Lagoon Zone.

The Site Plan shall clearly delineate and label:

- Existing Conditions:**
- Lot lines and dimensions.
 - Existing easements and dimensions.
 - Lagoon Zone and dimensions.
 - Deck Easement and dimensions.
 - House footprint.
 - Gangway location.
 - Dock location.
 - Bio-Swale locations.
 - Hinge Point of lagoon and elevation.
 - Higher High Water Mark elevation and location.
 - Elevation of existing grade at waterward corners of property.
 - 5' Levee Access and Maintenance Area (LAMA) for Perimeter Levee Lots.

- Proposed Improvements:**
- Location of proposed Deck(s).
 - Dimensions of Deck(s).
 - Elevation of Deck via datum above sea level.
 - Setbacks for Deck, including dimension from the Deck to the edge of the Lagoon Zone.
 - Location, spacing, dimensions, size, materials and quantity of pilings.
 - Location of the deck grade beam and/or footings.
 - Location, height and extent of railing.
 - County approved Typical Deck Structural Design Package - Building Permits #6013; BIPRJ20-00013; and #BIRPJ20-00013-REV1.

- Other Information:**
- Owner's Name
 - Lot Number
 - Street Address
 - North Arrow and Scale
 - BIMID Approval Signature Block
 - 11"x17" format

EXAMPLE

A base Plot Plan can be obtained from the Original Homebuilder to serve as a starting point for the Site Plan.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

7.18. BIMID Requirements for Decks in the Deck Easement in the Lagoon Zone.

(For clarity, this section only applies to Decks that are located in the Deck Easement in the Lagoon Zone. This section does not apply to decks that are located within the Rear Yard Zone of the Lot.)

7.18.1. BIMID Design Approval Requirements for Decks.

- a) Prior to submittal of Deck plans to BIMID for review and approval, an Owner must obtain written approval from the Delta Coves DRC, including an official approval stamp on the Deck Site Plan from the DRC. *(Refer to Section 7.17 of these Design Guidelines for further explanation of the submittal requirements for the DRC.)*
- b) All Deck plans and other planned encroachments within the Deck Easement in the Lagoon Zone for all lots shall be submitted to and approved by BIMID prior to submittal to Contra Costa County for review, approval and issuance of a building permit. *(Refer to Appendix H for further explanation.)*
- c) The BIMID Board has up to thirty (30) days after receipt of final plans, drawings and specifications for the review process and may request an additional thirty (30) days beyond the initial thirty (30) day period, at BIMID's sole discretion. No work authorized by BIMID shall be performed until BIMID has received, reviewed and approved in writing a complete set of final submitted construction drawings for each lot-specific project.
- d) BIMID requires the Owner to execute an "Indemnification Agreement" for any proposed improvements within the areas subject to the purview of BIMID. *(A copy of this agreement can be obtained from BIMID or the DCMC.)*
- e) Review fees have been established by BIMID for this review process. The amount of the review fees vary for Perimeter Levee Lots and Peninsula Lots. *(Refer to BIMID for a schedule of current fees or contact the offices of the DCMC.)*
- f) After approval from the DRC and BIMID, the Owner must obtain a review, approval and a building permit from Contra Costa County, prior to commencement of construction. *(Refer to Appendix H for further explanation.)*

7.18.2. BIMID Pre-Construction Requirements for Decks.

- g) After approval has been obtained from the DRC and BIMID; and after a building permit has been issued by the County, the Owner shall contact BIMID directly at bimid@bimid.com or (925) 684-2210 to schedule a Pre-Construction Meeting for any Deck construction prior to commencement of construction. Failure to do so at least ten (10) business days prior to the start of construction may result in a delay of the project.
- h) All work authorized by BIMID shall be constructed in accordance with the final approved drawings and specifications. No additional work, other than that approved by BIMID, shall be done in the area without prior approval of BIMID.

7.18.3. BIMID Requirements During Construction of Decks.

- i) The Owner is responsible for supervision and inspection services as required and accepted by BIMID. A professional engineer registered in the State of California shall certify that all work was inspected and performed in accordance with BIMID approved drawings, specifications, and BIMID approval stipulations.
- j) The Owner is responsible for repair of any damages to the Delta Coves - BIMID levee and other flood control facilities as a result of the construction, operation or maintenance of the encroachment.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- k) BIMID and/or other applicable governing agencies may have restrictions and requirements regarding certain dates or times of year that pilings can and cannot be installed in the riprap bank of the Lagoon Zone based on various environmental conditions. The Owner, including their Contractors and agents, must comply with all requirements of the applicable governing agencies regarding this matter. Refer to Section 7.8 of these Design Guidelines for further explanation. Owners and Contractors need to properly plan and schedule their Deck projects around such dates.
- l) During construction of the encroachment and improvements, any and all anticipated or unanticipated conditions encountered, which may impact levee integrity or flood control shall be brought to the attention of BIMID and prior to continuation of construction.
- m) Any abandoned encroachments shall be completely removed or properly abandoned at the direction of BIMID.
- n) No encroachments or improvements, other than those authorized in writing by BIMID, shall be constructed on or within the levee embankment section and within the rock slope protection area without prior written approval from BIMID.
- o) Any damage to the levee embankment, slope and rock slope protection as a result of construction of encroachments and improvements shall be promptly repaired by the Owner to the condition that existed prior to implementation of the authorized encroachment, or better.
- p) The Owner shall replace or import rock slope protection on the levee slopes if damaged or displaced during project work.
- q) All debris generated during construction of the authorized encroachment and improvements shall be properly disposed of outside the Lagoon and levee slope embankment sections.

7.18.4. BIMID Post-Construction Requirements for Decks.

- r) Upon completion of construction of the authorized encroachments and improvements, the Owner shall submit accurate as-built drawings to BIMID. The as-built drawings shall include the size, depth and location of the Deck pilings relative to nearby property corners/lines and permanent buildings/residential structures.
- s) Upon completion of the construction of the Deck, the Owner shall schedule a final inspection by BIMID to verify that the completed improvements comply with requirements of BIMID. If compliant, BIMID will issue a post-construction inspection report and approval. The Owner shall provide a copy of the post-construction inspection report and approval to the DRC for their records.
- t) The Owner and its successor shall maintain the approved encroachments and improvements within the utilized area in the manner required and as requested by BIMID or any other agency responsible for levee maintenance.
- u) The authorized encroachments or improvements within the 5' Levee Access and Maintenance Area (LAMA) within a Perimeter Levee Lot shall not interfere with the operation and maintenance of the Delta Coves - BIMID perimeter levee system. If the authorized encroachments or improvements are determined by any agency responsible for operation or maintenance of the flood control project to interfere, the Owner shall be required, at the Owner's expense, to modify or remove the authorized encroachment at the direction of BIMID. If the Owner does not comply, BIMID may modify or remove the encroachment at the Owner's expense.

7.18.4. Revisions and Changes to BIMID Procedures.

- v) The information regarding the BIMID procedures outlined in Section 7.18 of these Design Guidelines is provided as a courtesy to the Owners and Contractors. This outline is not an exhaustive description of all aspects of the review and approval processes by BIMID. BIMID reserves the right to modify and change their procedures, requirements, fees and processes at any time. The Owner should consult with BIMID for any updates, enhancements or additional requirements.
- w) For clarity, the DRC only reviews Design Review Applications for location and aesthetics. The DRC does not review applications for compliance with requirements of BIMID, the County, or any other governing agency having jurisdiction over such improvements.

Section 8

**DESIGN STANDARDS FOR DOCKS
AND DOCK-RELATED IMPROVEMENTS**

8.1. Philosophy and Introduction.

- a) Docks are an important part of the character and lifestyle of Delta Coves. The DRC will review Dock designs and locations to ensure the appropriate community character is established and maintained. Docks, including any associated structures, amenities, accessories and other improvements, are to be consistent with the intent of the Design Guidelines and shall have the same level of detail, care and craftsmanship as the house and other improvements; and shall complement the overall design of the house and community.
- b) All improvements, structures, amenities, and accessories related to the Dock are subject to review and approval by the DRC in addition to permits required by the County prior to commencing any work.



8.2. Dock Terms.

- a) For the purpose of these Design Guidelines, the term “Original Dock” refers to the location, size, configuration and structure of the Dock, including the gangway landing and location of the gangway, as constructed and installed at the time of the Original Construction and at the time of the first sale of the Lot to an individual Owner.
- b) For the purpose of these Design Guidelines the term “Dock Extensions” refers to extensions, additions or modifications to the Original Dock.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

8.3. Lagoon Zone.

- a) The Lagoon Zone is defined in Section 3.6 of these Design Guidelines.
- b) The location and limits of the Lagoon Zone for each individual Lot are delineated on the Site Plan for each individual Lot as prepared by the Original Homebuilder and/or the Master Developer at the time of Original Construction. The Site Plan is available from the Original Homebuilder.
- c) For clarity, some other documents used at Delta Coves may refer to terms such as “dock easement”, “mooring easement”, “mooring line”, “water easement”, and “lagoon easement”. These terms refer to what is defined as the Lagoon Zone for the purpose of these Design Guidelines.
- d) Because the Docks and dock-related improvements are located in the Lagoon Zone and not located within the actual boundaries of the Lot owned by the Owner, there are greater restrictions, limitations, requirements, and design criteria for such improvements as further explained in these Design Guidelines.
- e) All improvements in the Lagoon Zone shall also comply with applicable code, ordinance, rules, policies and requirements of applicable governing agencies, including, but not limited to: BIMID, County of Contra Costa, California Department of Fish and Wildlife, California Department of Boating and Waterways, and US Army Corp of Engineers, as well as other local, state and federal agencies having jurisdiction over the Lagoon. As a reminder, the DRC reviews Design Review Applications for location and aesthetics. The DRC does not review Design Review Applications for compliance with requirements of other applicable governing agencies. It is the Owner’s responsibility to comply with the requirements of all applicable governing agencies.
 - Refer to Section 3.6. for "*Lagoon Zone*".

8.4. Dock Locations and Setbacks.

- a) The location of all Docks, Dock Extensions, and gangways must be within the Lagoon Zone established for each Lot. The Lagoon Zone is defined in Section 3.6 of these Design Guidelines.
- b) All Docks, Dock Extensions, gangways, and other dock-related structures and accessories must be setback a minimum of five feet (5'-0") from the side limits of the Lagoon Zone adjacent to neighboring Lot.
- c) All Docks, Dock Extensions and other dock-related structures and accessories must be located a minimum of five feet (5'-0") from the exposed rock slope of the Lagoon at low tide.
 - Refer to Section 3.6. for "*Lagoon Zone*".
 - Refer to Section 8.5. for "*Shared Docks*".
 - Refer to Appendix G for "*Shared Docks*".

8.5. Shared Docks.

- a) Due to the layout and configuration of the neighborhood and the Lagoon, certain Lots are located in the inside corners and coves of the Lagoon; and, therefore, these properties have Shared Docks in the Lagoon Zone. The Lots that are likely to have Shared Docks are identified on the map in Appendix G of these Design Guidelines.
- b) The initial location, size, and use restrictions of the original Shared Docks and applicable Lagoon Zones are determined at the time of first sale to an individual Owner from the Original Homebuilder; and are shown on the Site Plan available from the Original Homebuilder.
- c) All Docks, gangways, and Dock Extensions must be located within the Lagoon Zone associated with each respective lot. Dock Extensions must be located a minimum of five feet (5'-0") from the side boundary of the Lagoon Zone for the associated Lot, unless approved otherwise by the DRC.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- d) Due to the configuration of the Shared Dock and the location of the defined Lagoon Zone for each Lot, certain properties may not be able to expand the size of their Original Dock.
- e) Any dock-related accessories and structures must be located within the portion of the Lagoon Zone associated with respective Lot, unless otherwise agreed in writing by adjacent Owners and also approved by the DRC.
- f) Each Owner is responsible for the care and maintenance of the portion of the Dock, gangway landing and gangway located within the Lagoon Zone associated with their respective Lot. The metal railing that divides a Shared Dock is the equal maintenance responsibility of both benefitted Owners.
- g) The DRC will review Dock Extensions and dock-related improvements on a case-by-case basis for these conditions. In its sole discretion, the DRC reserves the right to impose stricter design criteria; or to allow exceptions and variances to the design criteria in these Design Guidelines due to the unique conditions for Shared Docks.
- Refer to Appendix G for “Shared Docks”.



Example of Shared Docks

8.6. Dock Size.

- a) The total Dock areas (including the Original Dock, angled dock braces, the gangway landing, and any Dock Extensions) may not exceed one thousand square feet (1,000 s.f.) for each Lot, unless specifically approved otherwise by the DRC.
- b) As part of any Design Review Application, the Applicant shall provide accurate dimensions and area calculations for the Original Dock and gangway landing; as well dimensions and area calculations for the proposed Dock Extensions.
- Refer to Section 8.5 for “Shared Docks”.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

8.7. Dock Construction.

a) **Structure:**

- i) At this time, the engineering, type, materials, systems, components, construction methods, and structural design of all Docks and gangways must comply with the **Typical Dock Design Package** that has been approved by the County on December 10, 2019 under Building Permit #6013 (as may be amended or revised by the County from time to time).
 - ii) The County prefers, and at this time may require, the structural design of all Docks and gangways to comply with the existing approved **Typical Dock Design Package**. The **Typical Dock Design Package** is shown in Appendix F of these Design Guidelines.
 - iii) Alternate structural designs for a Dock that do not comply with the **Typical Dock Design Package**, as referenced above, may be considered by the DRC on a case-by-case basis, but the Owner needs to understand that alternate designs will involve additional engineering, reviews, coordination, time, costs, fees, approvals, and effort. Alternate designs must be equal to or better than the **Typical Dock Design Package**. The DRC and the County both reserve the right to not approve the design for a Dock, gangway or dock-related improvement deemed to be inappropriate at the sole discretion of either reviewing party.
 - iv) For clarity, the DRC only reviews Design Review Applications for location and aesthetics; and the DRC does not review or approve Docks or gangways for technical, structural, functional, engineering, or regulatory requirements.
- b) **Type:** All Docks and gangways must be designed for floating conditions to accommodate the naturally occurring changes in water level of the Lagoon. Fixed docks are prohibited.
- c) **Floatation Systems:**
- i) Dock floatation systems must be enclosed and/or encased floatation systems.
 - ii) No exposed foam floats, styrofoam floats, or barrel floats are allowed.
- d) **Pilings:**
- i) Dock pilings, if necessary, shall match the size, shape, height, material, color, cap, connections, and appearance of the typical dock pilings used throughout the Delta Coves community.
 - ii) Dock pilings shall be properly coated steel, unless approved otherwise by the DRC.
 - iii) If approved by the DRC and properly permitted by the applicable agencies, dock pilings may only be installed, replaced, or removed between August 1st and November 30th of each calendar year per the US Army Corp of Engineers; the Contra Costa County Department of Conservation and Development; and the California Department of Fish and Wildlife. No disturbance to the Lagoon floor is allowed between December 1st and July 31st of each calendar year. Owners need to properly plan and schedule their Dock projects if pilings are proposed.

Typical Dock Design Package

approved by Contra Costa County includes:

Permit #6013

Approved by the County on December 10, 2019

as shown in Appendix F of these Design Guidelines.

(subject to any amendments and revisions that may be approved by the County from time to time)

HINT:
Owners and Contractors need to properly plan and schedule their Dock projects to comply with these dates.

DOCK PILINGS			
JANUARY	FEBRUARY	MARCH	APRIL
NOT Allowed	NOT Allowed	NOT Allowed	NOT Allowed
MAY	JUNE	JULY	AUGUST
NOT Allowed	NOT Allowed	NOT Allowed	Dock Pile Installation Allowed
SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER
Dock Pile Installation Allowed	Dock Pile Installation Allowed	Dock Pile Installation Allowed	NOT Allowed

- e) **Dock Surface:** Materials used for the Dock surface shall be durable and low-maintenance. The materials for walking surfaces of the Dock shall be limited to:
 - i) Concrete and Stamped Concrete.
 - ii) Concrete Tiles.
 - iii) Treated Wood.
 - iv) Composite Decking Materials, such as Fiberon®, TimberTech AZEK®, or Trex®.
 - v) Prefinished Aluminum Decking Materials; subject to the specific approval by the DRC; and provided that such products do not have a shiny or reflective finish. Unfinished aluminum or mill-finish aluminum decking is not allowed.
 - vi) Integrally-Colored Acrylic Coatings, such as KoolDeck®.
- f) **Prohibited Dock Surfaces** include:
 - i) Astroturf, artificial turf, or plastic grass.
 - ii) Outdoor carpet.
 - iii) Light, bright or colorful coatings or colors.
 - iv) Dramatic colors, patterns, graphics, or logos.
 - v) Other materials and colors deemed inappropriate for a dock surface as determined in the sole discretion of the DRC.
- Refer to Appendix F. for “Typical Dock Design Package”.

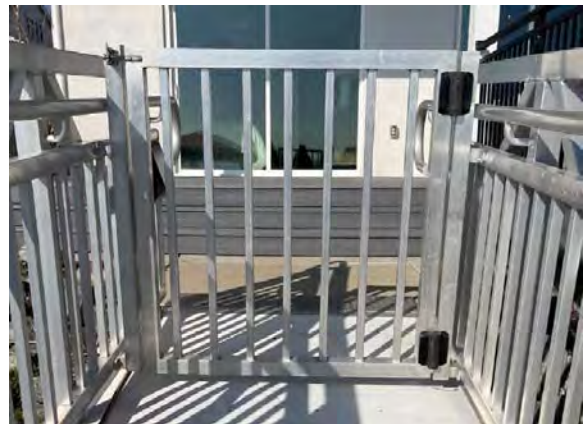
- 8.8. Gangways.** For the purpose of these Design Guidelines, the similar terms such as “dock ramp” and “gang plank” refer to what is defined as the Gangway for the purpose of these Design Guidelines.
- a) The gangway location shall remain in the original location as installed as part of the Original Construction, unless specifically approved otherwise by the DRC. The DRC may approve the relocation of the gangway and gangway landings on a case-by-case basis and its sole discretion.
 - b) Only one (1) gangway is allowed per Lot, except as specifically noted below.
 - c) A second gangway from the Lot to a second Dock may be considered by the DRC for Lots with one hundred lineal feet (100’-0”) or more of water frontage; on a case-by-case basis and in the sole discretion of the DRC. As a reminder, the total areas of all Docks and Dock Extensions may not exceed one thousand square feet (1000 s.f.) in total per Lot, as outlined in Section 8.6 of these Design Guidelines.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- d) Any changes, modifications, relocation, deletion, or addition of a gangway landing footing at the top of the rock slope may not impact the integrity of the rock slope of the Lagoon. All such work must be reviewed, approved and permitted by the applicable agencies and must comply with all applicable requirements of the County and BIMID. A geotechnical analysis may be required for any modification, relocation, deletion or addition of a gangway landing footing to ensure the integrity of the rock slope of the Lagoon. Owners and their Contractors are responsible for obtaining all necessary engineering, approvals, permits and inspections.
- e) The style, appearance, colors, materials, height and width of the gangway shall match the existing standard gangway used throughout the Delta Coves community. In general, all gangways shall have a similar appearance for a cohesive look throughout the entire community. In general, the DRC will not approve modifications to the type, style and appearance of the gangway. Refer to Appendix F of the Design Guidelines for the typical gangway design as shown in the **Typical Dock Design Package**.
- f) The overall width of a gangway may not exceed four feet six inches (4'-6") wide.
- g) Gangways must be designed and constructed for easy removal by the Owner so as not to impair BIMID's ability to perform maintenance work on the levee.
- h) Accessories, decorations, lighting, artwork, graphics, signage and other ornamentation may not be attached to the gangway, unless specifically allowed otherwise in these Design Guidelines.
 - Refer to Section 8.6 for "Dock Size".
 - Refer to Appendix F for "Typical Dock Design Package".

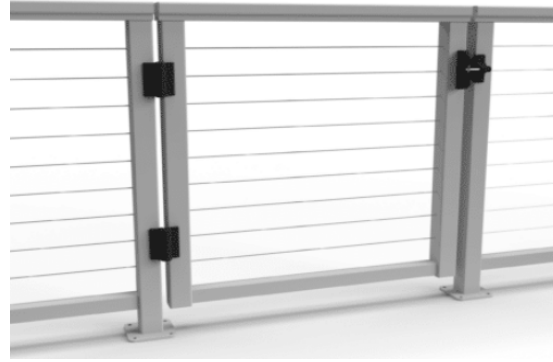
8.8.1. Gangway Gates. A Gangway Gate is allowed to be installed at an existing gangway without the approval of the DRC subject to compliance with the following design criteria:

- a) The Gangway Gate shall be located at the top of the existing gangway ramp; or in alignment with an existing approved fence or railing system.
- b) The width of the Gangway Gate shall be the same width as the space between the railings of the gangway ramp; or 48" wide maximum.
- c) The height of the Gangway Gate shall be the same height as the railings of the gangway ramp; or 42" tall maximum.
- d) Self-closing and self-latching hardware is encouraged for all Gangway Gates.
- e) The style, pattern, and appearance of the Gangway Gate shall match one of the two options noted below.
 - i) Option #1: Typical Aluminum Gangway Gate, as shown in the example photographs below.



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- ii) Option #2: A Gangway Gate that matches the style, pattern, details, height, materials, colors and appearance of an existing railing system that is part of an approved deck or approved rear yard design, as generally shown in the example photographs below. (*Option #2 is only applicable when adding a Gangway Gate to an existing railing system that was previously approved by the DRC.*)



- f) Any other type of Gangway Gate requires the approval of the DRC prior to installation.
- Refer to Section 8.8 for “Gangways”.
 - Reference: Rule Change Adopted: June 12, 2024

8.9. Boat Houses. Boat houses, boat enclosures, wrap-around boat canopies, and other types of improvements with solid vertical walls or opaque vertical panels are not allowed at a Dock. In general, the intent is that improvements at the Dock maintain an open and transparent character in order to minimize the visual impact to the Lagoon as viewed from the Residence, the neighboring properties, and the Lagoon.

- Refer to Section 8.10 for “Dock Shade Structures”.
- Refer to Section 8.11 for “Sunscreens at a Dock Structure”.
- Refer to Section 8.12 for “Retractable Boat Covers”.
- Refer to Section 8.13 for “Removable Boat and Watercraft Covers”.

8.10. Dock Shade Structures.

- a) **Approvals:** All vertical structures, Dock Shade Structures, and architectural boat canopies of any type that are located within the Lagoon Zone, located on the Dock, or located adjacent to the Dock must comply with the design criteria noted below and must be approved by the DRC prior to installation.
- b) **Location:** All Dock Shade Structures shall be located a minimum of five feet (5'-0”) from the defined Lagoon Zone for the respective Lot.
- c) **Size:** The cumulative total of all covered areas of all shade structures, awnings, canopies and other Dock Shade Structures shall not exceed eight hundred square feet (800 s.f.), unless specifically approved otherwise by the DRC.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- d) **Height:**
- i) The maximum height of any Dock Shade Structure is fifteen feet (15'-0") as measured from water level.
 - ii) Raised decks, upper view decks, roof decks, observation decks, crow's nests, second floor decks, or other decks or walking platforms that have a walking surface that is higher than the primary level of the Dock are not allowed.
- e) **Shape:** The shape of all Dock Shade Structures shall be square and rectangular shapes and geometry. Curved, freeform, undulating, skewed, or other odd or unusual shapes are not allowed for Dock Shade Structures.
- f) **Roof Form and Shape:** The shape of the roof form of a Dock Shade Structure shall have a low-sloping hipped roof, as generally shown on the photographic examples illustrated below; unless specifically approved otherwise by the DRC. The objective is to maintain low-scale proportions and consistent aesthetics along the edge of the Lagoon. The pitch of the roof of any Dock Shade Structure may not exceed a 3:12 slope, unless specifically approved otherwise by the DRC.
- g) **Materials:** Dock Shade Structures shall be constructed of durable, quality and low-maintenance materials. At this time, Dock Shade Structures may be constructed of the following materials:
- i) Steel or aluminum framing with metal roof. The most common and preferred construction for a Dock Shade Structure is powder-coated steel frame with prefinished standing seam metal roofing as shown on the photographic illustrations below.
 - ii) Wood Dock Shade Structures (if approved by the DRC on a case-by-case basis.)
 - iii) Outdoor canvas Dock Shade Structures (if approved by the DRC on a case-by-case basis.) If a canvas or fabric-type Dock Shade Structure is proposed, the fabric material must be a specialized heavy-duty material specifically manufactured for outdoor use. Fabric Dock Shade Structures are not preferred due issues of fading and maintenance. If at any point the fabric or canvas becomes torn, ripped, significantly stretched, frayed, stained, discolored or otherwise unsightly, the Owner will be required to immediately repair, replace or remove the Dock Shade Structure.
 - iv) The intent of these Design Guidelines is that Dock Shade Structures are open on all sides. The collective total of solid walls, opaque walls, and screen walls at a Dock may not be larger than eight feet (8'-0") wide and eight feet (8'-0") tall. Solid walls, opaque walls, trellis panels, screen walls, and outdoor curtains may be allowed, if approved by the DRC and shall be reviewed on a case-by-case basis and at the discretion of the DRC.
- h) **Colors:**
- i) Colors of the Dock Shade Structure should complement the home and not detract from the views from neighboring lots, waterways or common areas. The objective is that the colors of the Dock Shade Structure are subtle and have minimum visual impact on the appearance of the Lagoon edge.
 - ii) The roof colors for a Dock Shade Structure shall be subtle, neutral and earthy tones, such as gray, charcoal, bronze, brown, tan, olive green, and dull-bluish-gray slate, as generally depicted on the color examples shown below.
 - iii) White, red, blue, green, dramatic, patterned, striped, contrasting, and/or other colorful roof colors are not allowed for a Dock Shade Structure.
 - iv) Applicants must submit actual color samples, color chips, or color charts for the roof of a Dock Shade Structure as part of a Design Review Application.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Examples of Acceptable Kynar Metal Roof Colors for Dock Shade Structures



- i) **Prohibited Dock Structures and Materials:** The following items and/or elements are prohibited for any dock structure.
- i) View deck, observation decks, roof decks, second floor decks, two-story dock structures, crow's nest, multi-level docks, or other raised walking surfaces.
 - ii) Vinyl canopies.
 - iii) Tensile fabric structures.
 - iv) Plastic tarps or similar flexible materials.
 - v) Corrugated metal.
 - vi) Corrugated plastic.
 - vii) Thatch, palm frond, grass thatch, and other "palapa" style materials.
 - viii) Graphics, logos, words, print, symbols or patterns on the roof of a Dock Shade Structure.
 - ix) Other materials and colors deemed inappropriate for a dock structure as determined in the sole discretion of the DRC.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

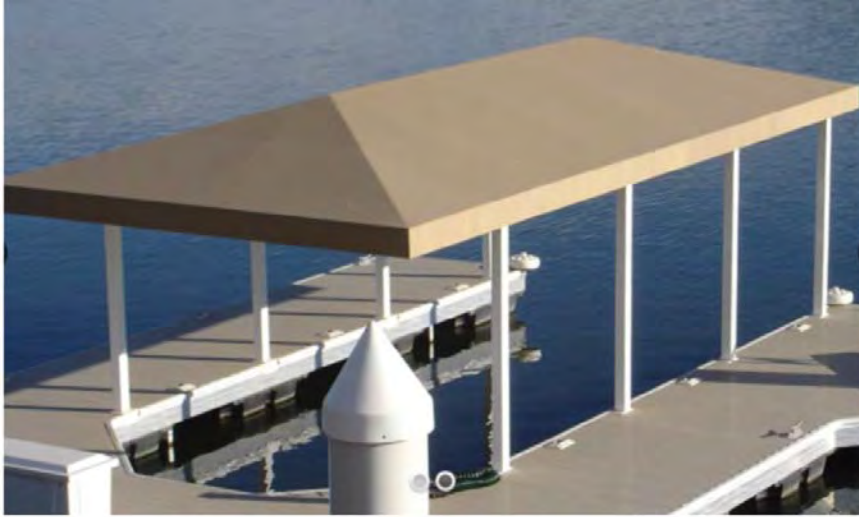
Examples of Preferred Dock Shade Structures



Examples of acceptable and preferred Dock Shade Structures with: open sides; low-slope hipped metal roofs; and natural and earthy colors.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Examples of Acceptable Dock Shade Structures



If fabric-type materials are used for a Dock Shade Structure, the fabric must be a high-quality outdoor fabric. The fabric material must be maintained in an attractive and well-kept appearance at all times.

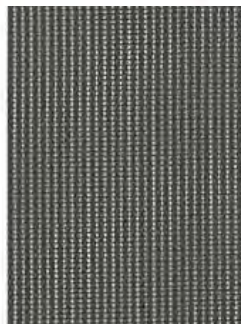
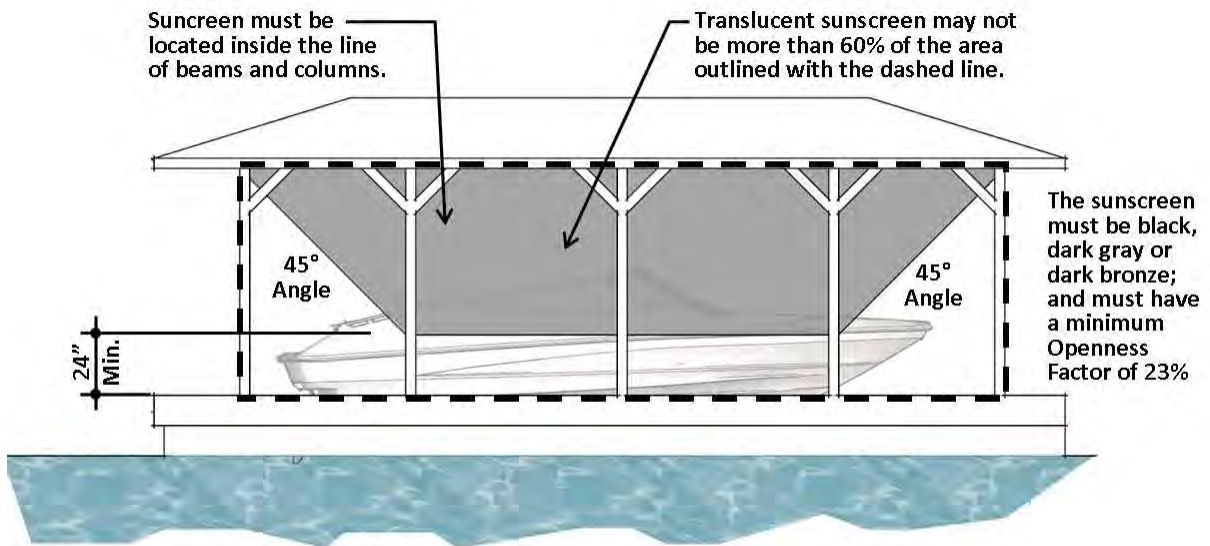


Examples of Acceptable Dock Shade Structures with low-slope hipped fabric roof in natural and earthy colors

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

8.11. Sunscreens at a Dock Shade Structure. Sunscreens may be allowed at a Dock Shade Structure when approved by the DRC and subject to compliance with the following design criteria.

- a) Sunscreens are allowed on a maximum of two (2) sides of the Dock Shade Structure.
- b) The overall area of each sunscreen panel may not cover more than sixty percent (60%) of any one side of the Dock Shade Structure, as further explained in the illustration below.
- c) Sunscreens must be located a minimum of twenty-four inches (24") above the walking surface of the Deck, as explained in the illustration below.
- d) Sunscreens shall be located inside of line of the posts and beams of the Dock Shade Structure.
- e) The sunscreen fabric must have a minimum Openness Factor (O.F.) of twenty-three percent (23%), such as Textiline®80 by Twitchell Corporation or Suntex®80 by Phifer®; unless specifically approved otherwise by the DRC.
- f) The color of the sunscreens shall be black, dark gray or dark bronze, unless specifically approved otherwise by the DRC.
- g) Applicant must provide specifications and actual samples of the sunscreen fabric material as part of a Design Review Application.
- h) An Owner is required to maintain the appearance of a sunscreen in an attractive and well kept manner at all times. If the sunscreen becomes torn, ripped, dilapidated, or otherwise unsightly, the Owner shall remove, replace or repair the sunscreen immediately.

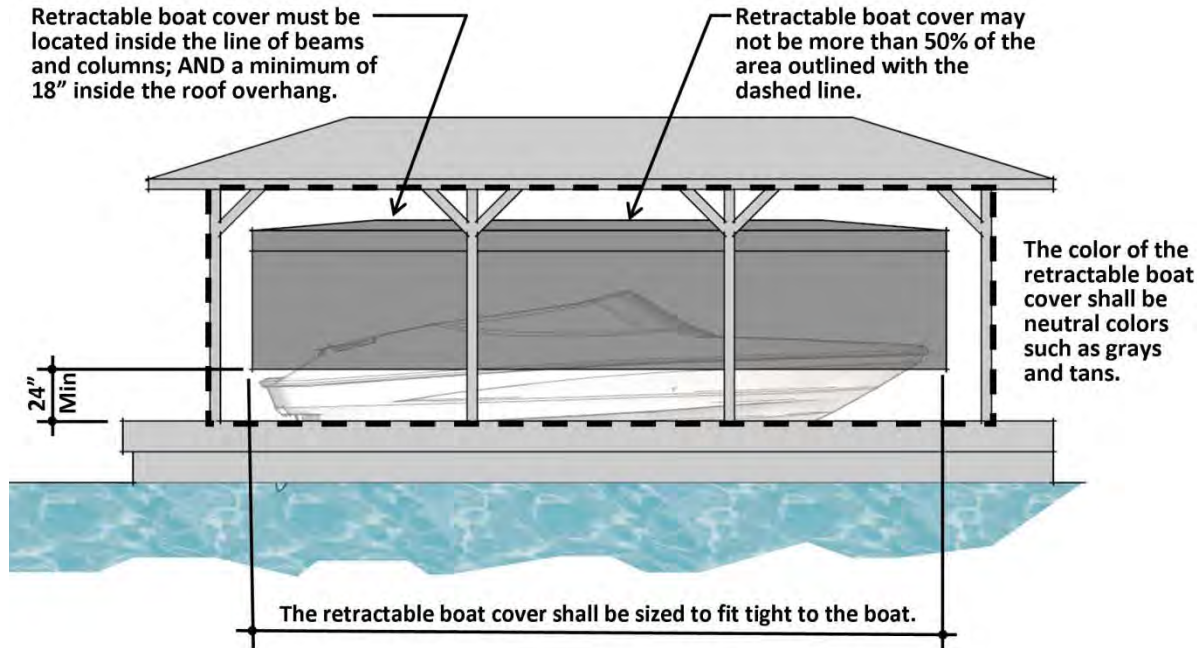


Example of a Sunscreen at Dock Shade Structure

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

8.12. Retractable Boat Covers. Retractable Boat Covers may be allowed at a Dock when approved by the DRC and subject to compliance with the following design criteria.

- a) Retractable Boat Covers are not allowed as free-standing or stand-alone elements.
 - b) Retractable Boat Covers are required to be located underneath and below a Dock Shade Structure.
 - c) A Retractable Boat Cover shall be sized to fit the boat. The objective is to use the smallest Retractable Boat Cover possible to cover the boat.
 - d) A Retractable Boat Cover must be located inside the line of the beams and columns of the Dock Shade Structure; AND must be located a minimum of eighteen inches (18") within the outermost edge of the roof overhang of the Dock Shade Structure, as further explained in the illustration below.
 - e) The lowest point of a Retractable Boat Cover must be at least 24" above the walking surface of the Dock.
 - f) The size of the Retractable Boat Cover when in the extended position may not be larger than 50% of the overall area of the Dock Shade Structure, as further explained in the illustration below.
 - g) The color of a Retractable Boat Cover shall be subtle, neutral and earthy tones, such as grays and tans.
 - h) An Owner is required to maintain a Retractable Boat Cover in an attractive and well kept manner at all times. If the cover becomes torn, ripped, dilapidated, or otherwise unsightly, the Owner shall remove, replace or repair the cover immediately.
- Refer to Section 8.10 for *"Dock Shade Structures"*.
 - Refer to Section 8.13 for *"Removable Boat and Watercraft Covers"*.



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Examples of Retractable Boat Covers located under a Dock Shade Structure



The photographic examples on this page show Retractable Boat Covers that:

- Are sized to fit the boat;
- Are located inside the line of the beams and columns.
- Are located at least 18” inside the roof line of the Dock Shade Structure.
- Do not occupy more than 50% of the area under the Dock Shade Structure, as viewed from any angle.



Retractable Boat Cover in the Open Position



Retractable Boat Cover in the Closed Position

Disclaimer: The photographic examples on this page are intended to specifically reference the Retractable Boat Covers. These photographs do not represent the types of Docks and Dock Shade Structures allowed at Delta Coves. These photographs do not necessarily represent the colors allowed at Delta Coves.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

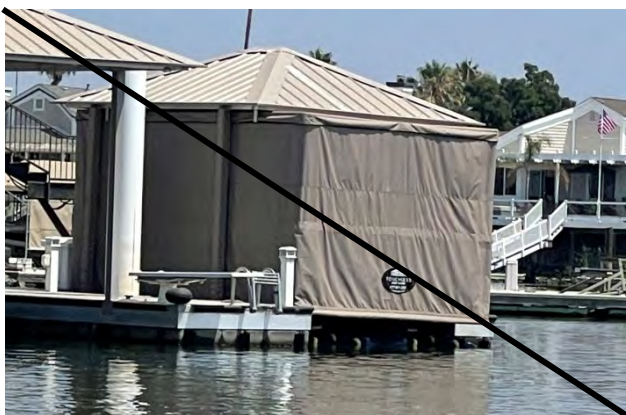
Examples of UNACCEPTABLE Boat Covers

The types of Boat Covers shown on this page are NOT allowed at Delta Coves

The intent is to keep the Dock and Lagoon Edge as open and transparent as possible in order to maintain the openness along the Lagoon Edge. The DRC wants to avoid boat covers with solid massing and opaque panels. The DRC wants to avoid the appearance of “storage sheds” along the Lagoon.



Free-standing or stand-alone Retractable Boat Covers are NOT allowed.



Retractable Boat Covers that occupy all of the space below a Dock Shade Structure are NOT allowed.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

8.13. Removable Boat and Watercraft Covers.

- a) Removable covers for boats and personal watercraft similar to the examples shown on this page are allowed without the approval of the DRC subject to compliance with the following design criteria.
- b) The color of removable boat and watercraft covers shall be subtle, neutral and earthy tones, unless specifically approved otherwise by the DRC.
- c) An Owner is required to maintain the boat and watercraft covers in an attractive and well kept manner at all times. If the cover becomes torn, ripped, dilapidated, or otherwise unsightly, the Owner shall remove, replace or repair the cover immediately.



All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

8.14. Boat Lifts and Boat Hoists. Boat lifts, boat hoists and other types of watercraft lifts may be allowed when approved by the DRC prior to installation and subject to compliance with the following design criteria.

- a) Boat lifts and boat hoists must be fully-located within the boundaries of the Lagoon Zone of the associated Lot and must be located a minimum of five feet (5'-0") from the side boundary of the Lagoon Zone, unless specifically approved otherwise by the DRC. On a case-by-case basis, the DRC may consider exceptions to the minimum setback if the Owner obtains a written and notarized approval from the owner of the adjacent property.
- b) Boat lifts and boat hoists must be quality commercially-manufactured items for the specific intended purpose.
- c) Due to tidal changes in the water surface elevation of the Lagoon; and due to regulatory restrictions regarding the Lagoon floor, all boat lifts and boat hoists are not allowed to connect, touch, bear or anchor to the bottom of the Lagoon. Boat lifts and boat hoists must be floating-type units that attach to the Dock.
 - Refer to Section 3.6 for "Lagoon Zone".

8.15. Dock Amenities and Appurtenances.

- a) Any appurtenant structures, improvements, elements, or items that are affixed or related to a Dock, including but not limited to the items listed below, are to be consistent with the intent of these Design Guidelines, as interpreted by the DRC.
- b) The following Dock improvements and amenities may be permitted, subject to prior approval by the DRC:
 - i) Personal Water Craft Docks / Jet Ski Ports.
 - ii) Mooring Devices.
 - iii) Dock Protectors, Dock Fenders, and Dock Bumpers. The color of such dock accessories shall be neutral tones, such as grays and tans.
 - iv) Dock Ladders (to access the water level of the Lagoon).
 - v) Kayak Launch.
 - vi) Slides and Diving Boards. A maximum height of six feet (6'-0") as measured above the dock surface. The colors are limited to white or tan.
 - vii) Flagpoles. A maximum height of twenty feet (20'-0") as measured above the dock surface. A maximum quantity of two (2) flags and one (1) flagpole. (*Refer to Section 4.33 for additional design criteria for flags and flagpoles.*)
 - viii) Portable Patio Heaters. A maximum height of nine feet (9'-0"). Portable patio heaters must use bottled propane tank fuel. No permanent gas lines are allowed on the Dock. Owners should carefully consider the wind conditions and the risk of overturning before installing a portable patio heater at a Dock. (*Refer to Section 4.56 for additional design criteria for Patio Heaters.*)
 - ix) Portable Fire Pits, Fire Bowls or Fire Tables with bottled propane tank fuel. No permanent gas lines are allowed on the Dock. (*Refer to Section 4.32 for additional design criteria for Fire Elements.*)
 - x) Portable Outdoor Cooking Equipment, such as a portable barbecue grill. No permanent gas lines are allowed on the Dock. (*Refer to Section 4.12 for additional design criteria for Outdoor Cooking Equipment.*)
 - xi) Coolers.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- xii) Storage Chests and Lockers. A maximum of thirty-two square feet (32 s.f.) in size and a maximum height of three feet (3'-0") tall as measured above the dock surface, unless specifically approved otherwise by the DRC.
 - xiii) Commercially-Manufactured Storage Racks, including storage racks for kayaks and paddleboards. A maximum height of five feet (5'-0") as measured above the dock surface.
 - xiv) Portable Umbrellas. A maximum height of ten feet (10'-0") tall and a maximum width of ten feet (10'-0") wide. A maximum quantity of two (2) portable umbrellas per Dock. The color of the umbrellas shall be neutral and subtle. Owners should carefully consider the wind conditions and the risk of overturning before installing a portable umbrella at a Dock. *(Refer to Section 4.99 for additional design criteria for Umbrellas.)*
 - xv) Outdoor Furniture. Portable outdoor furniture at the Dock does not require the specific approval of the DRC provided that the outdoor furniture is specifically constructed for outdoor use and utilizes neutral and subtle colors.
 - xvi) Pots and Planters. Pots and small planters at the Dock do not require the specific approval of the DRC provided that the colors are neutral and subtle. *(Refer to Section 4.64 for additional design criteria for Pot and Planters.)*
 - xvii) Toys, equipment, and miscellaneous accessories at the Dock shall be stored in screened and enclosed areas. Items that are not used on a regular basis should be stored in the garage or enclosed side yard adjacent to the home.
- c) All dock improvements and amenities must be quality products that are manufactured for outdoor use and commercially available for the specific intended purpose and/or use. "Homemade" improvements are not allowed on the Dock, unless specifically approved otherwise by the DRC.
- Refer to Section 8.16 for "Dock Utilities".
 - Refer to Section 8.18 for "Dock Signage".
 - Refer to Section 8.19 for "Dock Lighting".
 - Refer to Section 8.20 for "Prohibited Dock Improvements".

Examples of Dock Amenities

All dock accessories are commercially-manufactured products specifically for the intended use.



Dock Slide (6' tall or less)
Color: White or Beige



Dock Ladder



Kayak Rack
5' tall or less



Jet Ski Port



Dock Storage
32 s.f. or less / 3' tall or less



Kayak Launch

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

8.16. Dock Utilities.

a) **Utility Lines:**

- i) Water, power and data lines to serve the Dock shall be attached to the underside of the gangway and shall be located in the most inconspicuous locations possible in order to minimize the visual appearance of these utilitarian improvements. The objective is that the utility lines have the least amount of visual impact possible.
- ii) Permanent propane, natural gas or other fuel lines are prohibited at a Dock.
- iii) All pipes, conduits and attachments shall match the color of the Dock and/or gangway.
- iv) Utility lines between the Lot and the Dock shall be designed, engineered and constructed to accommodate the fluctuation of the water level of the Lagoon and the movement of the Dock and gangway.
- v) Utility lines may not be buried or located in, on or beneath the rock slope bank of the Lagoon.
- vi) Within the property boundaries of the Lot, the water, power and data lines shall be buried below grade in accordance with applicable codes.
- vii) As a reminder, utility lines to the Dock require a permit from the County prior to installation.

- b) **Water and Power Pedestals:** Quality, commercially-manufactured Water and Power Pedestals may be permitted at a Dock, subject to prior approval by the DRC.

Example of a typical Water and Power Pedestal



8.17. Fuel and Fuel Storage:

- a) Fuel storage of any type, as well as fuel distribution tanks, fuel lines, and/or fuel equipment, are not allowed at the Dock or in the Lagoon Zone.
- b) Owners are responsible to comply with all applicable governmental regulations regarding fuel, oils and chemicals used for any watercraft that are located or moored in the Lagoon Zone. Great care must be taken to avoid spilling or leaking fuel, oils, hazardous materials, or other chemicals into the Lagoon.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- 8.18. Dock Signage.** Signage may be allowed at a Dock if approved by the DRC prior to installation and subject to compliance with the following design criteria.
- a) If allowed, signage at the Dock shall be subtle, small, and integrated with the overall composition of improvements at the Dock. For example, some Owners may want to identify their property address or family name at the Dock so that guests that arrive by water are informed of the correct Dock.
 - b) Signage at a Dock shall be limited to a maximum of six (6) square feet in total surface area.
 - c) Signage may not be located more than seven feet (7'-0") above the dock surface.
 - d) Signage may not be installed on the roof of any Dock Shade Structure.
 - e) Signage at the Dock for the purpose of advertising or commerce is not allowed.
 - f) Real Estate Signs and Political Signs are not allowed on a Dock.
 - Refer to Section 4.86. for "Signs and Signage".
- 8.19. Dock Lighting.**
- a) Lighting at the Dock, gangway, and other dock structures requires the approval by the DRC prior to installation.
 - b) The general philosophy and intent is that lighting at the Dock shall be subtle and minimal; while still providing necessary safety and comfort. In general, less light is preferred in order to maintain an attractive environment around the Lagoon.
 - c) All dock lighting shall be low voltage LED light fixtures.
 - d) All light fixtures shall be shielded or shrouded to prevent glare and to shield the bulb or "hot spot" of the light fixture as viewed from the Lagoon and from adjacent residential properties.
 - e) Pole-mounted or post-mounted lights may not exceed a height of eight feet (8'-0") as measured above the walking surface of the Dock.
 - f) Security lighting, including security lights on a motion detector, at a Dock shall be reviewed on a case-by-case basis by the DRC. (*Refer to Section 6.9 of these Design Guidelines for additional design criteria for Outdoor Security Lighting.*)
 - g) If lighting is installed at the gangway ramp, the lights shall be fully-shielded down lights with sufficient illumination for safety; and the lights shall be activated by a motion sensor so that the lights do not stay on for more than twenty (20) consecutive minutes.
 - h) Lights for the purpose of illuminating the water, water surface or underwater are not allowed.
 - i) Colored lights are not allowed (unless specifically required by law for safety purposes).
 - j) Animated, blinking, moving, or flashing lights are not allowed.
 - k) Rope lights and continuous perimeter lights are not allowed on a Dock, outlining a Dock, or on a Dock Shade Structure.
 - l) String lights, strand lights, café lights, cable lights, and similar suspended-types of lights that span across open areas of the Dock are not allowed, unless specifically approved otherwise by the DRC. String lights are allowed to be mounted to the underside of a Dock Shade Structure located on a Dock, when specifically approved by the DRC. (*Refer to Section 6.14 of these Design Guidelines for additional design criteria for String Lights.*)
 - m) Holiday and seasonal lights at the Dock or on dock improvements are allowed and shall comply with the design criteria in Section 4.48 for Holiday Lights and Holiday Decorations (Temporary).
 - n) Temporary Event Lights at the Dock or on dock improvements are allowed and shall comply with the design criteria in Section 6.15 for Temporary Event Lighting at a Deck or Dock.
 - o) All Outdoor Lighting at a Dock shall comply with all applicable design criteria in Section 6 of these Design Guidelines.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- p) All lighting at a Dock must be approved by the DRC prior to installation. The DRC reserves the right to not approve any proposed lighting that is determined in the sole discretion of the DRC to be excessive, intrusive, or objectionable.
- Refer to Section 4.48 for "*Holiday Lights and Holiday Decorations (Temporary)*".
 - Refer to Section 6. for "*Outdoor Lighting*".
 - Refer to Section 6.14. for "*String Lights*".
 - Refer to Section 6.15 for "*Temporary Event Lighting at Decks and Docks*".

8.20. Prohibited Dock Improvements. The following Dock and dock-related improvements are not permitted, unless specifically approved otherwise by the DRC:

- a) Fixed docks.
- b) Docks that exceed one thousand square feet (1,000 s.f.) in total area.
- c) Covers, roofs, canopies, awnings, shade structures or dock structures that exceed eight hundred square feet (800 sf) in total area.
- d) Perimeter railings, guardrails or fences (except for separation railings at Shared Docks and except for typical railings for dock ladders, water slides and gangways).
- e) Solid walls, opaque walls, and screen walls larger than eight feet (8'-0") wide and eight feet (8'-0") tall.
- f) Pools and spas, including above-ground pre-manufactured spa units.
- g) Temporary or permanent toilets.
- h) Homemade improvements. (for example, a kayak rack made of PVC parts).
- i) Signage (larger than six (6) square feet in total area).
- j) String lights or strand lights that span across open areas of the Dock.
- k) Certain types of lighting (as outlined in Section 6.18 and Section 8.19 of these Design Guidelines).
- l) Fuel storage, fuel equipment or fuel lines of any type.
- m) Any other item deemed inappropriate to be located on a Dock as determined in the sole discretion of the DRC.

8.21. Various Dock Improvements. Because there are so many different possibilities for Docks, dock structures and dock accessories, the DRC will review Dock and dock-related improvements on a case-by-case basis. The approval of the location, size, height, placement, materials, color and appearance of all Docks and dock-related improvements are at the sole discretion of the DRC. The DRC reserves all rights to not approve any Dock or dock-related improvement that is deemed to be inappropriate in the sole opinion of the DRC including, but not limited to, reasons of: size, scale, height, form, shape, prominence, visual impact, appearance, details, colors, and/or materials.

8.22. Dock Maintenance and Appearance. Owners are responsible to maintain the Dock and all dock-related improvements in an attractive and well-kept manner at all times. Owner's should also refer to the "*Homeowner's Maintenance Guide*" provided by the Original Homebuilder.

8.23. Maintenance within the Lagoon Zone.

- a) Owners are responsible for the remediation and/or removal of any plant growth, trash and debris within the Lagoon Zone associated with their property, including any areas along the riprap embankment, under the Deck, under the Dock, and in the water. No visible plant material at the surface shall be permitted and the subsurface shall be regularly maintained and kept weed free.
- Refer to Section 5.41 for “*Maintenance within the Lagoon Zone*”.

8.24. Dock Permits and Approvals.

- a) The Owner is responsible to comply with all applicable requirements of all applicable governing agencies, including, but not limited to: Contra Costa County, BIMID, and the applicable agencies of the local, state and federal government.
- b) Dock improvements require a building permit from the County prior to commencement of construction. The Applicant should obtain approval from the DRC for any proposed dock improvements prior to applying to the County for all applicable building and use permits.
- c) For clarity, the DRC only reviews Design Review Applications for location and aesthetics. The DRC does not review or approve dock structures for technical, engineering, structural, ordinance, codes or other governmental or regulatory requirements.

8.25. Delta Coves Design Review Application Submittal Requirements for a Dock.

The Applicant shall submit a complete, clear, detailed, and easy-to-understand Design Review Application to the DRC that clearly explains the location, use, function, size, dimensions, height, materials, colors and appearance of all proposed Dock or dock-related improvements. A Design Review Application for a Dock shall include:

- a) **Delta Coves Design Review Application Form:** The Application Form is available online at: www.deltacovesresidents.com.
- b) **Photographs:**
 - i) A clear and legible color photograph of the entire front of the home taken from a vantage point on the street.
 - ii) A clear and legible color photographs of the entire existing Dock taken from a vantage point at the top of the Lagoon bank in the rear yard of the property.
 - iii) Clear and legible color photographs of the existing Dock and gangway.
- c) **Site Plan / Plot Plan:** (For Dock Extensions, dock modifications or dock structures.)
 - i) Lot lines and dimensions.
 - ii) Lagoon Zone and dimensions.
 - iii) Existing gangway location.
 - iv) Original Dock location, dimensions and square footage, including the gangway landing and any angled corner braces with walking surfaces.
 - v) Location, dimensions and square footage of proposed Dock Extensions and dock-related improvements, including angled corner braces that create walkable dock surface.
 - vi) Setbacks, including dimensions from the Dock Extensions to the Lagoon Zone boundary in each direction.
 - vii) Location, quantity, size and type of dock pilings (if applicable).
 - viii) County Building Permit Number for the Typical Dock Design Package. (County Building Permit #6013 December 10, 2019)
 - ix) Owners name.
 - x) Property address.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- xi) Lot number.
- xii) North arrow and graphic scale.
 - A base Plot Plan or Site Plan can be obtained from the Original Homebuilder to serve as a starting point for the Site Plan for the Design Review Application.
- d) **Drawings, Sketches and Plans:** The Applicant shall submit complete, clear, accurate, and easy-to-understand drawings, sketches, elevations and plans that fully explain the location, size, dimensions, height, materials, colors and appearance of the proposed improvements.
- e) **Cut Sheets, Brochures, and Manufacturer Information:** The Applicant shall submit clear, accurate and easy-to-understand information to explain the products and materials that are proposed for the Dock including, but not limited to: manufacturers, product names, model numbers, type, sizes, dimensions, materials, colors and appearance. Please only provide specific and relevant information as part of the Design Review Application.
- f) **Colors and Materials:** The Applicant shall submit actual samples, color chips, color charts, brochures, or quality digital color photographic samples to explain all colors and materials for the proposed improvements.

Incomplete, inaccurate or vague Design Review Applications will not be approved. Incomplete, inaccurate or vague applications may result in the assessment of additional Design Review Fees; as well as a delay in the review of the application.

Design Review Application to the DRC can be submitted online at www.deltacovesresidents.com.

Appendix A

Definitions

Accessory Buildings or **Accessory Structures** means: Small enclosed or semi-enclosed, detached, free-standing, buildings and/or structures on a residential Lot as further described in Section 4.2 of these Design Guidelines.

Applicant means: The specific individual person or entity identified as the "Applicant" on the Application Form submitted to the DRC as the Applicant to whom all design review correspondence shall be addressed. The Applicant shall be deemed to be the agent of the Owner that is authorized to act on behalf of the Owner in regard to matters related to Design Review. In general, the Applicant is considered to collectively embody and represent the Owner, designers, Contractors, builders, subcontractors, vendors, authorized agents, and related parties that are part of the design, construction, installation and implementation of any addition, modification, or improvement to a property that is the subject to a Design Review Application. The Applicant is responsible for sharing all reports and correspondence from the DRC and for communicating all stipulations issued by the DRC with all of the applicable parties, owners, contractors, vendors, (et al) that make up the collective Applicant. Notification and communication from the DRC to the Applicant is deemed to be notification and communication to the Owner and all applicable parties that make up the collective Applicant.

Architect means: A person or firm appropriately licensed to practice architecture in the State of California.

BIMID means: The Bethel Island Municipal Improvement District of Bethel, Island, California, and its various departments, divisions, employees and representatives. Owners are required to obtain review, approval and/or inspections from BIMID for any projects, work or improvements that are subject to the review of BIMID. As a reminder, the DRC does not review Design Review Applications for compliance with requirements of BIMID.

BIMID Indemnification means: The indemnity agreement between an Owner and the Bethel Island Municipal Improvement District (BIMID), its agents, representatives, officers, employees and contractors, against any and all actions, suits, proceedings, claims, demands, losses, judgments, costs and expenses, including settlement costs, legal costs and attorney's fees, arising out of or related to the maintenance or repair of any Project levees, embankments, rip rap or slope face, or the lack of said maintenance or repair, other than as caused by BIMID's own gross negligence or intentional misconduct. The BIMID Indemnification agreement is subject to revisions and amendments by BIMID from time to time.

Bio-Swale means: The drainage and landscape Improvements installed at the waterfront corners of each residential Lot for the purpose of collecting storm water drainage and run off from the lot into a low hollow that naturally filters the storm water and drainage before it exits the property through the existing drainage pipes and into the Lagoon, as further explained in Section 5.7 of these Design Guidelines. The quantity, location, configuration and size of the Bio-Swales are typically illustrated on the Site Plan or Plot Plan available from the Original Homebuilder.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

CC&Rs or **Master CC&Rs** means: “*Master Declaration of Covenants, Conditions, Restrictions and Reservation of Easements for Delta Coves*” as recorded in the Records of Contra Costa County, including any amendments that may be made from time to time; and also including any Supplemental Declarations, as may be recorded and/or amended from time to time.

Common Area means: Real property owned by the DCMC for the common benefit of the Community, as further explained in the CC&Rs.

Community means: The definition of “*Community*” per the definitions in the Master Declaration.

Contractor means: A person or entity engaged by an Owner, including the Owner acting as contractor, for the purposes of constructing, installing, repairing, or modifying any Improvement on the Owner’s property. This term also applies to any contractors, subcontractors, vendors, agents, or employees of a Contractor.

County means: Contra Costa County, California, and its various departments, divisions, employees and representatives. Owners are required to obtain review, approval, permits and/or inspections from the County for any projects, work or improvements that are subject to the review of County. As a reminder, the DRC does not review Design Review Applications for compliance with requirements of the County.

DCMC means: The Delta Coves Maintenance Corporation, including its various departments, divisions, employees and authorized representatives.

Deck means: The structure, pilings, railings, and walking surfaces of a Deck that is located within the Deck Easement in the Lagoon Zone associated with a residential Lot, as further explained in Section 7 of these Design Guidelines. For the purpose of these Design Guidelines, when the term “Deck” is capitalized, it usually refers specifically to a Deck that is located within the Lagoon Zone.

Deck Easement means: The Grant of Easement as recorded in the official records of the Contra Costa County Recorder Office as instrument #2020-0227303; including any amendments that may be made from time to time, which defines the location, restrictions and use of the easement area for the general purpose of the construction, maintenance, use and enjoyment of Decks and deck-related improvements that are located within a portion of the Lagoon (Parcel A).

Deck Easement Area means: The location and areas of the land that are the subject of the “**Deck Easement**” (as defined in these definitions).

Declarant means: The definition of “*Declarant*” per the definitions in the Master Declaration.

Declaration or **Master Declaration** means: “*Master Declaration of Covenants, Conditions, Restrictions and Reservation of Easements for Delta Coves*” as recorded in the Records of Contra Costa County, including any amendments that may be made from time to time.

Design Guidelines means: These “*Residential Design Guidelines for Delta Coves*”, including any amendments and policies as may be made from time to time.

Design Review Committee or **DRC** means: The definition of “*Design Review Committee*” per the definitions in the Master Declaration.

Design Review Consultant means: The individual or entity retained by the DRC to assist in technical evaluation and review for the DRC.

Dock means: The structure, pilings, anchorage, floatation elements, walking surface and associated Improvements located on the water of the Lagoon (Parcel A) as further described in Section 8 of these Design Guidelines.

Dock Extensions means: Extensions, additions or modifications to the Original Dock.

Dock Shade Structure means: An architectural shade structure located on or immediately adjacent to a Dock in the Lagoon Zone. A Dock Shade Structure may be located over the walking surface of the Dock in order to cover outdoor walking and sitting areas; or may be located over the water adjacent to the Dock to cover a boat or watercraft. A Dock Shade Structure consists of a solid low-sloping hipped roof constructed of metal or outdoor fabric with vertical support posts that are open on all four (4) sides of the structure. Photographic examples of a Dock Shade Structure are shown in Section 8.10 of these Design Guidelines.

Engineer means: A person or firm appropriately licensed to practice one of the designated professional disciplines of engineering in the State of California.

Existing Non-Conforming Improvement means: An Improvement that does not fully comply with the Design Guidelines due to a variety of reasons. The existence of an Existing Non-Conforming Improvement does not establish a precedent, nor does it obligate the DRC to approve a similar Improvement in the future even if similar conditions exist.

Exterior Ornamentation means: Statues, art, artwork, sculpture, wagons, wagon wheels, antique elements, representations of animals or people, weather vanes, windmills, wind sculptures, bird baths, bird houses, fountains, gazing balls, paintings, murals, displays, decorative signs, decorative flags, decorative rocks, decorative elements, decorative posts, or any other miscellaneous ornamentation items as determined in the sole discretion of the DRC.

Final Map or **Final Subdivision Map** or **Subdivision Map** means: The Final Subdivision Map for “*Subdivision 6013 Delta Coves at Bethel island*” Book 476 of Maps at Pages 37-88 as recorded in the Contra Costa County Recorder Office as instrument #05-97712, including amendments that may be made from time to time.

Finished Grade Pad means: The engineered finished graded earthen pad that was approved by the County and BIMID and constructed as part of the original development and Original Construction of the property upon which the home was constructed.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Front Courtyard means: An uncovered patio, sitting area, or other outdoor living space that is located in the Front Yard Zone and is surrounded by low walls, fences and/or gates, as further described in Section 4.35 of these Design Guidelines.

Front Yard Zone means: The area of the Lot located between the front property line and the front face of the Residence, including the area on the side of the home up to the return yard fence on each side of the home, as further explained in Section 3.4 and illustrated in Section 3.2 of these Design Guidelines.

Fully-Shield Light Fixture means: A light fixture that has a solid and opaque barrier, cap, hood, shroud, or housing that fully shields or hides the light source (lamp or bulb) with no light projecting above a horizontal line of the barrier, as illustrated in Section 6.3 of these Design Guidelines.

Height means: The vertical distance measured from adjacent finished grade to the highest point of an Improvement. Height is measured from finished grade when such grade is below the grade of the Original Construction. Height shall be measured from existing grade of the Original Construction when the finished grade is higher than original grade.

Improvement means: The definition of “*Improvement*” per the definitions in the Master Declaration.

Lagoon means: The body of water, the Lagoon Bank, and all other property located within Parcel A of the Final Subdivision Map.

Lagoon Bank means: The sloped embankment covered in riprap rock in and around the perimeter of the waters of the Lagoon and located within Parcel A of the Final Subdivision Map. Similar non-defined terms such as “rock bank”, “riprap slope”, “rock embankment”, shall have the same meaning as Lagoon Bank for the purpose of these Design Guidelines.

Lagoon Zone means: The specific portion of the Lagoon (Parcel A) designated for the limited use, benefit, and enjoyment by the respective Owner of the associated contiguous residential Lot, as further described in Section 3.6 and illustrated in Section 3.2 of these Design Guidelines. The location and limits of the Lagoon Zone for each individual Lot are delineated on the Site Plan for each individual Lot as prepared by the Original Homebuilder and/or the Master Developer at the time of Original Construction. Similar non-defined terms such as “dock easement”, “mooring easement”, “private mooring easement”, “mooring line”, “water easement”, and “lagoon easement” shall have the same meaning as Lagoon Zone for the purpose of these Design Guidelines.

5’ Levee Access and Maintenance Area (LAMA) means: The area within and over portions of a Perimeter Levee Lot, as measured 5’-0” wide and inward from all waterward property line(s) as further explained in Section 3.8 of these Design Guidelines. The 5’ Levee Access and Maintenance Area (LAMA) only applies to Perimeter Levee Lots. The purpose of the 5’ Levee Access and Maintenance Area (LAMA) is to facilitate periodic levee inspections, repairs, maintenance, reconstruction, and replenishment of rock slope protection and Lagoon levee as required by BIMID.

Lot means: The definition of “*Lot*” per the definitions in the Master Declaration.

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Master Developer means: The “Declarant” (SDC Delta Coves, LLC, a Delaware limited liability company), as defined in the Master Declaration.

Neighborhood Street Frontage Zone means: The area adjacent to a Lot that is located within the right-of-way of the street between the public sidewalk and the street, as further explained in Section 3.3 and illustrated in Section 3.2 of these Design Guidelines.

Original Construction means: The materials, colors, methods, structures, details, styles, applications, techniques, and appearance of the construction of a Residence and other Improvements at the time of initial completion of the Residence by the Original Homebuilder, and as conveyed to the first initial Owner.

Original Dock means: The location, size, configuration and structure of the Dock, including the gangway landing and location of the gangway, as constructed and installed at the time of the Original Construction and at the time of the first sale of the Lot to an individual Owner.

Original Homebuilder means: A person or entity that obtained the original Building Permit and first constructed the initial and/or original complete Residence and related Improvements; and sold the property to the first initial Owner.

Owner or **Property Owner** or **Homeowner** means: The person or persons holding fee simple interest to a Lot, as defined in the Master Declaration.

Parcel A means: Parcel A as shown on the Final Subdivision Map, including, but not limited to the waters of the Lagoon and the Lagoon Bank.

Permanent Holiday Eave Lights means: A commercially-manufactured lighting product comprised of tiny LED strip lights housed in a narrow plastic or aluminum channel that can be discretely mounted to the underside of the fascias at the roof eaves and overhangs of the home in a permanent manner to provide holiday lighting. In general, each LED light is less than 1” diameter and the LED lights are typically spaced approximately 6” to 12” apart. The design premise of Permanent Holiday Eave Lights is that the product has minimal visibility when not in use. For reference, an example of Permanent Holiday Eave Lights are manufactured by a company called “Trimlight” www.trimlight.com.

Plot Plan means: The drawing of a residential Lot created by an Engineer that accurately shows information such as lot lines, dimensions, setbacks, easements, right-of-way, streets, public sidewalks, house footprint, driveways, walkways, grades and other pertinent site design information. A Plot Plan is created to obtain a building permit for the Original Construction and is usually stamped and sealed by a professional Engineer.

Public Levee Maintenance Easement (LVME) means: The Public Levee Maintenance Easement (LVME) as established and defined as part of the Final Subdivision Plan for “*Subdivision 6013 Delta Coves at Bethel Island*” Book 476 of Maps at Pages 37-88 as recorded in the Contra Costa County Recorder Office as instrument #05-97712, including amendments that may be made from time to time.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Public Utilities Easement means: The Public Utilities Easement (PUE) as established and defined as part of the Final Subdivision Plan for “*Subdivision 6013 Delta Coves at Bethel island*” Book 476 of Maps at Pages 37-88 as recorded in the Contra Costa County Recorder Office as instrument #05-97712, including amendments that may be made from time to time.

Public View means: The view of the Lot and/or Residence from adjacent streets, public sidewalks, Common Areas, open spaces, and the Lagoon. “Public” refers to anyone using or in the streets, sidewalks, Common Areas, or Lagoon of the Community. This view is to be considered from a height of six feet (6'-0") above the finish grade of the viewing area.

Rear Yard Zone means: The area of the Lot located between the waterfront property lines of the Lot and the rear face of the Residence, including the areas on the side of the home located behind the yard fences that face the street, as further explained in Section 3.5 and illustrated in Section 3.2 of these Design Guidelines.

Residence means: The definition of “*Residence*” per the definitions in the Master Declaration.

Retractable Boat Cover means: An operable boat cover located under and beneath a Dock Shade Structure. An operable boat cover extends up and down over a boat; and is generally constructed of weatherproof fabric or canvas. The size of a Retractable Boat Cover shall fit the size of the boat as closely as possible. For reference, an example of a Retractable Boat Cover is a Touchless Boat Cover® at www.touchlesscover.com/boat-covers; and shown on the photographic examples in Section 8.12 of these Design Guidelines.

Shared Dock means: The Dock and gangways located in the Lagoon Zone for the use and enjoyment of the Owners of certain Lots that are located in the inside corners and coves of the Lagoon, as further described in Section 8.5 of these Design Guidelines. Lots that are likely to have Shared Docks are identified on the map in Appendix G of these Design Guidelines.

Site Plan means: The drawing of a residential Lot that shows conceptual information such as lot lines, dimensions, setbacks, easements, right-of-way, streets, public sidewalks, house footprint, driveways, walkways, grades, Lagoon Zone, Docks, gangways, and other pertinent site design information.

Storm Drain Easement means: The Storm Drain Easement (SDE) as established and defined as part of the Final Subdivision Plan for “*Subdivision 6013 Delta Coves at Bethel island*” Book 476 of Maps at Pages 37-88 as recorded in the Contra Costa County Recorder Office as instrument #05-97712, including amendments that may be made from time to time.

Typical Deck Structural Design Package means: The typical, common and standard structural design calculations, materials, connections, construction methods, and requirements for a typical Deck in Delta Coves as documented in the Drawings and Structural Calculations prepared by Advanced Engineering and approved by Contra Costa County Building Inspection Division under *Permit #6013, Approved 4:19 PM, October 5, 2020; Permit #BIPRJ20-00013, Approved 4:21pm, October 5, 2020 and Permit #BIPRJ20-00013-Revision 1, Approved 9:49am, April 15, 2021*, including any amendments, revision and updates that may occur front time to time.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Typical Dock Design Package means: The engineering, type, materials, components, systems, construction methods, and structural design for a typical Dock in Delta Coves as approved by the County on December 10, 2019 under Building Permit #6013, including any amendments, revisions and updates as may be approved by the County from time to time.

Yard Fence means: A free-standing solid wall or solid fence (that is not a structural part of a building or Residence) that is located within a yard area or along a property line and is at least five feet (5'-0") tall as measured from the adjacent finished grade. Yard Fences are typically constructed of wood planks.

Yard Wall means: A free-standing solid wall or solid fence (that is not a structural part of a building or Residence) that is located within a yard area or along a property line and is at least five feet (5'-0") tall as measured from the adjacent finished grade. Yard Walls are typically constructed of concrete masonry units (CMU).

Supplemental Definitions for the Cottages at Delta Coves

The additional and supplemental definitions below apply to the Cottages at Delta Coves. Refer to *Appendix J* of these Design Guidelines for the *Supplemental Design Guidelines for the Cottages at Delta Coves*.

Benefitted Owner means: “Benefitted Owner” as defined in the *Supplemental Master Declaration*.

Benefitted Unit means: “Benefitted Unit” as defined in the *Supplemental Master Declaration*.

Burdened Owner means: “Burdened Owner” as defined in the *Supplemental Master Declaration*.

Burdened Unit means: “Burdened Unit” as defined in the *Supplemental Master Declaration*.

Condominium Common Area means: “Condominium Common Area” as defined in the *Master Declaration* and as described on the applicable Condominium Plan.

Condominium Plan means: The applicable *Condominium Plan for Subdivision 9426*, recorded in the Office of the County Recorder of Contra Costa County, California, including any amendments and supplements that may be added from time to time. The *Condominium Plan* legally describes the location, size, configuration and dimensions of the Condominium Unit.

- Refer to the recorded “*Condominium Plan Lot 2 Subdivision 9426*”
- Refer to the recorded “*Condominium Plan Lot 3 Subdivision 9426*”

Condominium Unit or Unit means: “Condominium Unit” or “Unit” as defined in the *Master Declaration*.

Cottages or The Cottages or The Cottages at Delta Coves or Delta Coves Cottages means: The real property located within *Condominium Plan Lot 2 Subdivision 9426* and *Condominium Plan Lot 3 Subdivision 9426*, as recorded in the Office of the County Recorder of Contra Costa County, California. The **Cottages** are sometimes referred to by the marketing name given by the Original Homebuilder, such as: “Beacon”, “The Beacon Neighborhoods”, “The Beacon Cottages”, “Beacon at Delta Coves” or “Beacon at Delta Coves by Pulte Homes”.

Master Common Area means: “Master Common Area” as defined in the *Master Declaration*.

Master Association Maintenance Area means: “Master Association Maintenance Area” as defined in the applicable *Supplemental Master Declaration*.

Private Courtyard means: The outdoor area located within the legally defined Condominium Unit that is for the use and enjoyment of the *Benefitted Owner*. Typically, the Private Courtyard is on the side of the home and is bounded by Yard Fences on two or three sides.

Special Benefit Area means: “Special Benefit Area” or “Beacon Special Benefit Area” as defined in the *Master Declaration* and as further explained in the applicable *Supplemental Master Declaration*.

Supplemental Master Declaration means: The applicable *Supplemental Master Declaration* recorded in the Office of the County Recorder of Contra Costa County, California, including any amendments and supplements that may be added from time to time. The *Supplemental Master Declaration* is complementary and supplementary to the *Master Declaration*; and sets forth unique aspects relative to the Cottage neighborhoods.

- Refer to the recorded “*Supplemental Master Declaration Delta Coves Phase 5 (Beacon at Delta Coves Phase 1)*”
- Refer to the recorded “*Supplemental Master Declaration Delta Coves Phase 6 (Beacon at Delta Coves Phase 2)*”

Yard Easement Area means: “*Yard Easement Area*” as defined in the *Supplemental Master Declaration*. The Yard Easement Area is that portion of a Condominium Unit over which the Owner of an adjoining Condominium Unit has an easement for access and maintenance of the Residence, as provided in the *Supplemental Master Declaration*. In general, the Yard Easement Area is three feet (3'-0”) wide as defined in the *Supplemental Master Declaration*.

Appendix B

Design Review Application Submittal Requirements

When preparing a Design Review Application, the Applicant must prepare a complete, clear, accurate and detailed submittal in order to thoroughly explain all aspects of the proposed addition, modification, or other improvement to the DRC. In overly simple terms, **ALL** Design Review Applications must answer **ALL** of the following questions:

- What is it ?**
 - Clearly explain and describe the proposed improvements including function, purpose and use.
 - For example: It's a Dock extension ... or a barbeque ... or a boat hoist ... or a front yard landscape revision.
 - The more detail ... the better! Provide thorough, clear, and detailed explanations.
 - Provide site plans, cut sheets, brochures, drawings, photos, specifications, model numbers, etc.
- Where is it ?**
 - Clearly and accurately explain the location of the proposed improvements.
 - Provide a clear Site Plan that shows the accurate location of the proposed improvements.
 - Provide accurate dimensions from property lines to the edge of the proposed improvements.
 - Draw the location of the improvements on clear and legible photographs.
- What size is it ?**
 - Clearly explain the size of the proposed improvements.
 - Identify and dimension the height.
 - Identify and dimension the width and length.
 - Identify and dimension other aspects of size.
- What does it look like ?**
 - Clearly and thoroughly describe the appearance of the proposed improvements.
 - Provide photographs, sketches, drawings, brochures, and cut sheets to explain what the proposed improvements look like.
- What material is it made of ?**
 - Clearly describe and specify all of the primary materials used for the improvement.
- What color is it ?**
 - Clearly explain, describe, and specify the colors.
 - Be specific and detailed. Use manufacturer's color names and specific color numbers when applicable.
 - Provide color samples when appropriate.
- What does the existing house look like ?**
 - Provide clear and legible color photographs of the entire front and the entire rear of your house to explain what your home looks like so the DRC can understand the architectural style as well as the overall color and material palette. Photos must be clear and legible.
- What does the area of the new improvement look like?**
 - Provide several clear and legible color photographs to explain location, context, and existing conditions of the areas that will receive the new improvements.
 - Draw notes and write explanations on the photographs to help explain your application.

INCOMPLETE AND UNCLEAR SUBMITTALS WILL OFTEN DELAY THE REVIEW PROCESS.

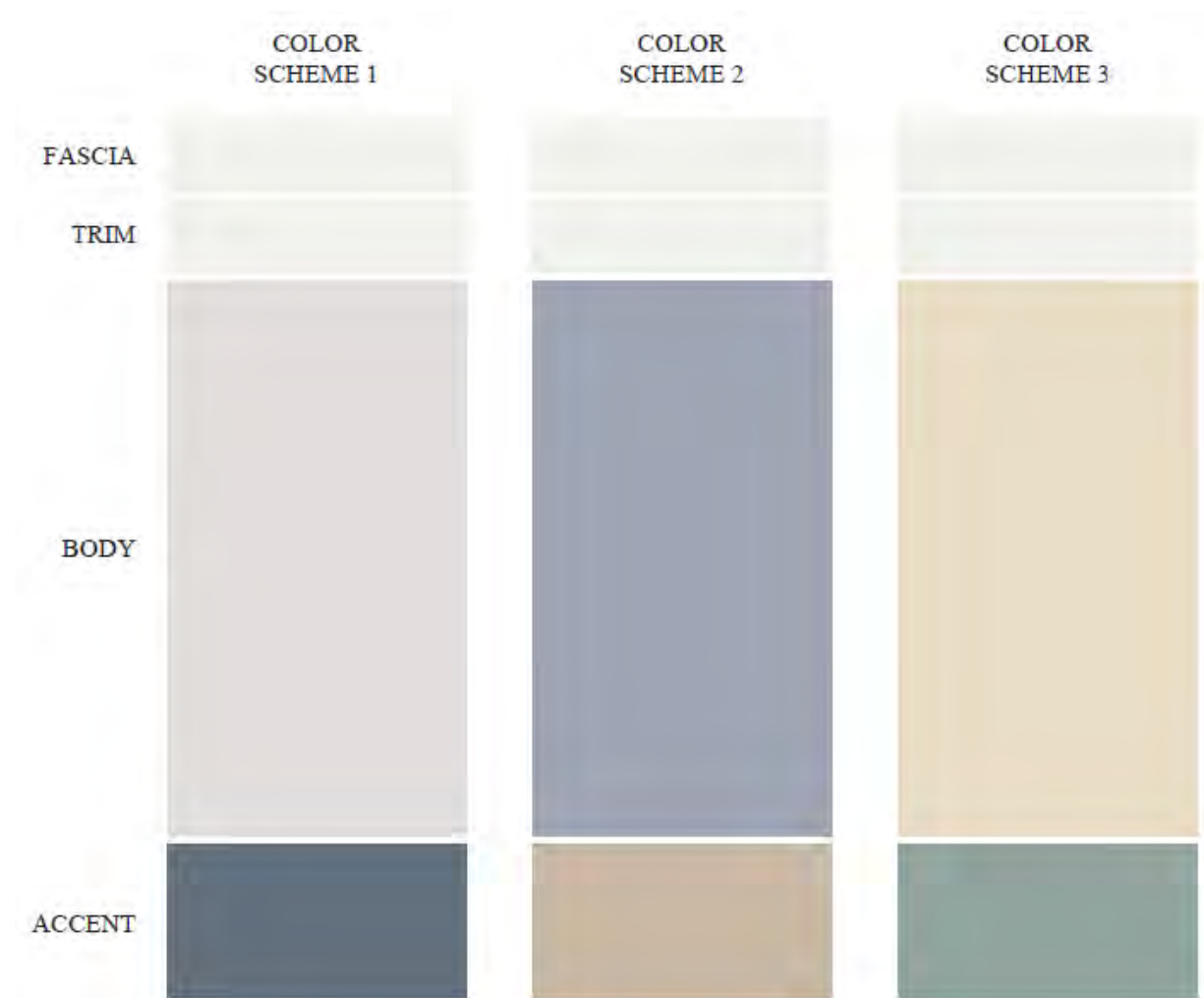
All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Appendix C

Approved Color Palettes

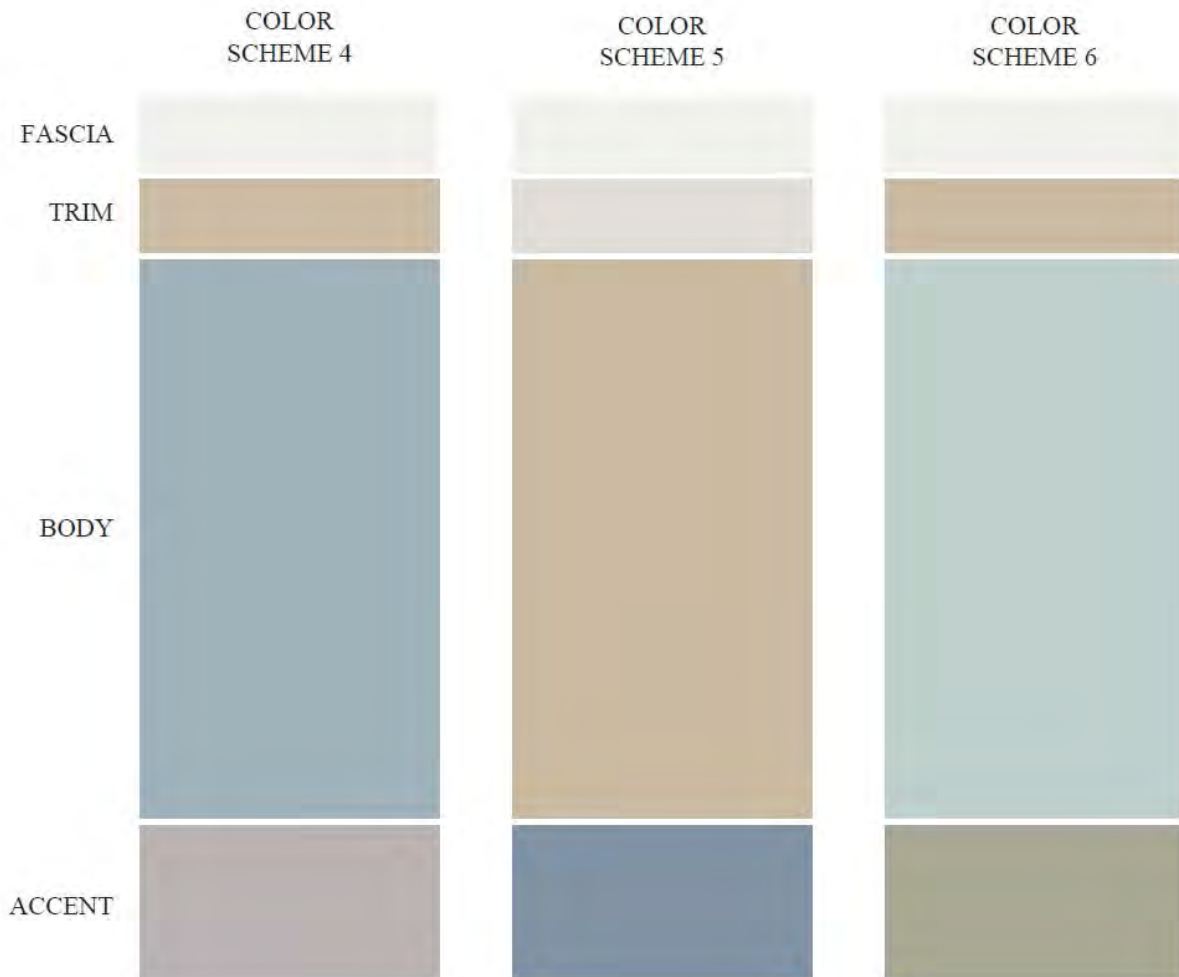
The following Color Palettes have been pre-approved by the DRC. They are intended to communicate the vision of the Delta Coves character. Nonetheless, creativity is encouraged, and alternatives to these colors, which adhere to the spirit of these Design Guidelines will be considered by the DRC on a case-by-case basis.

- Refer to Appendix J for the *Supplemental Design Guidelines for the Cottages at Delta Coves* when applicable.

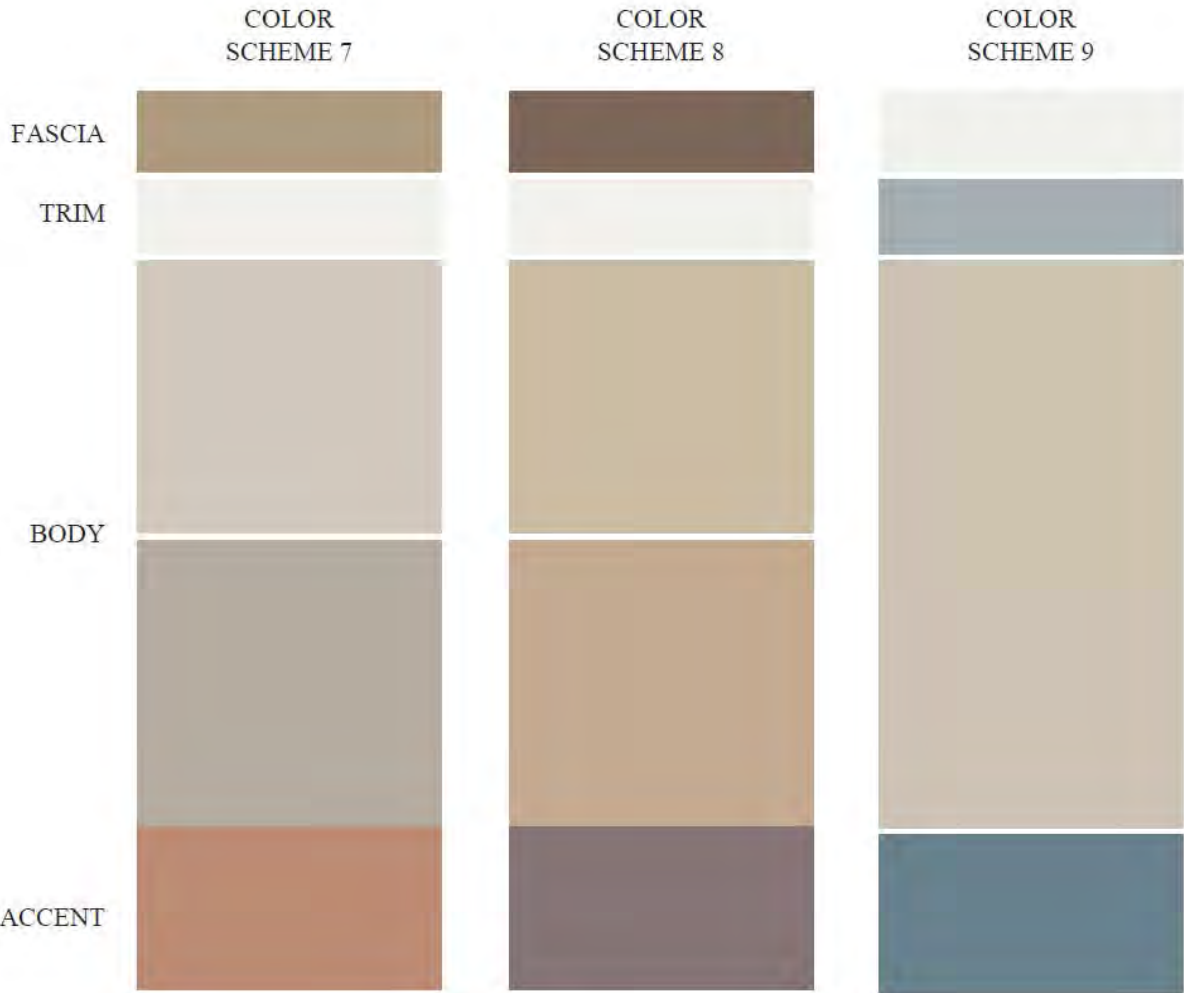


The colors shown in this document have been scanned and copied and therefore the colors shown on this page may vary from the actual paint colors used by the Original Homebuilder as part of the Original Construction. Specific color names and numbers are available from the Original Homebuilder.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

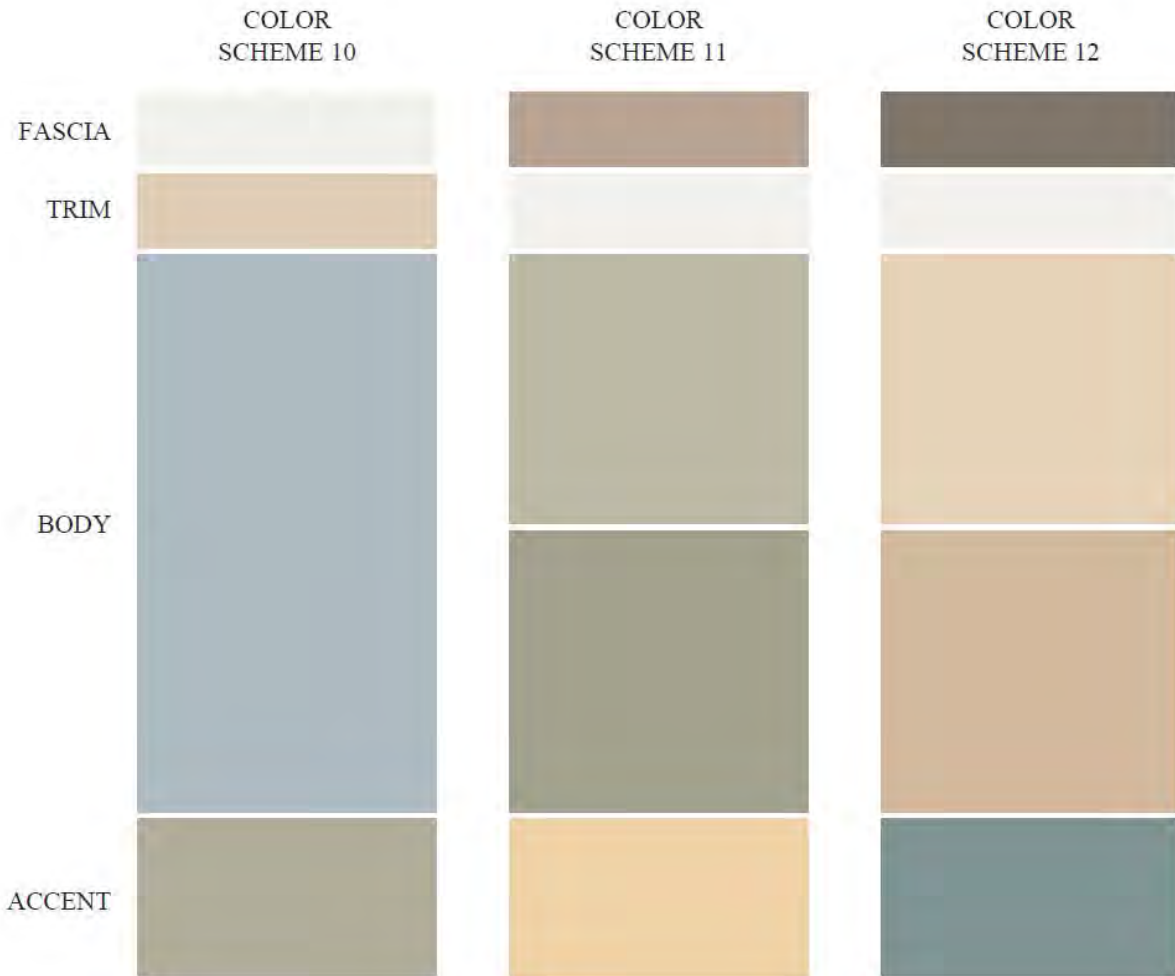


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Appendix D

Approved Plant List

The following plants may be used at Delta Coves. However, this list is not exhaustive, as there are many suitable plants available for use and individualized, high quality landscape design is encouraged. Subject to DRC review and approval, other plants may be proposed for use on the individual lots.

TREES

<i>Acer buergeranum</i>	Trident Maple
<i>Arbutus unedo</i> / <i>Arbutus</i> x. 'Marina'	Strawberry Tree
<i>Cercis occidentalis</i>	Western Redbud
<i>Crinodendron patagua</i>	Chilean Lily of the Valley Tree
<i>Eucalyptus nicholii</i>	Nichol's Willow-leaf Peppermint
<i>Gleditsia triacanthos</i> 'Shademaster'	Honey Locust
<i>Lagerstroemia indica</i> cultivars 'Natchez,' 'Tuscarora,' and 'Biloxi'	Crape Myrtle
<i>Laurus nobilis</i> 'Saratoga'	Saratoga Sweet Bay
<i>Nerium oleander</i>	White Standard Oleander
<i>Olea europea</i>	European Olive *Restricted use due to fruit messiness
<i>Olea europea</i> 'Swan Hill' and 'Majestic Beauty'	Fruitless Olive
<i>Platanus acerifolia</i>	California Sycamore
<i>Prunus</i> c. 'Krauter Vesusius'	Flowering Plum
<i>Schinus molle</i>	California Pepper

APPROVED SHRUBS FOR SCREENS / HEDGES

<i>Arctostaphylos densiflora</i> and <i>A. bakeri</i> 'Lutsko's Pink,' 'Sentinel,' and 'Louis Edmunds'	Manzanita
<i>Ceanothus concha</i> and <i>C. pallidus</i> 'Marie Simon'	Wild Lilac
<i>Feijoa sellowiana</i>	Acca
<i>Heteromeles arbutifolia</i> 'Davis Gold'	Toyon
<i>Laurus nobilis</i> 'Sweet Bay'	Sweet Bay *Good clipped hedge
<i>Leucophyllum langmaniae</i> 'Lynn's Legacy'	Lynn's Legacy Leucophyllum
<i>Myrtus communis</i>	Myrtle *Good clipped hedge
<i>Nerium oleander</i> 'Little Red,' 'Petite Pink,' and 'Petite Salmon'	Dwarf Oleander
<i>Nerium oleander</i> 'Sister Agnes'	Oleander *Limited use due to large scale
<i>Olea</i> 'Little Ollie'	Dwarf European Olive
<i>Prunus ilicifolia</i>	Hollyleaf Cherry *Good clipped hedge
<i>Rhamnus alaternus</i> 'John Edwards'	Italian Buckthorn
<i>Rhamnus californica</i> 'Eve Case,' 'Leatherleaf,' and 'Salt Point'	Coffeeberry
<i>Rhus integrifolia</i>	Lemonade Berry

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APPROVED PERENNIALS / SHRUBS AND GROUNDCOVERS

<i>Acacia redolens</i> 'Low Boy'	NCN
<i>Achillea millefolium</i> 'La Luna'	Yarrow
<i>Carex testinacea</i>	New Zealand Sedge
<i>Anigozanthos</i> spp.	Kangaroo Paw
<i>Aspidistra elatior</i>	Cast Iron Plant
<i>Azalea</i> spp.	Azalea
<i>Callistemon</i> v. 'Little John'	Dwarf Bottle Brush
<i>Carex divulsa</i>	Sedge
<i>Ceanothus gloriosus</i> 'Heart's Desire'	Wild Lilac
<i>Ceanothus maritimus</i> 'Valley Violet'	Wild Lilac
<i>Chondropetalum tectorum</i>	Small Cape Rush
<i>Cistus ladanifer</i>	Crimson Spot Rockrose
<i>Cotoneaster</i> d. 'Lowfast'	Bearberry Cotoneaster
<i>Dietes bicolor</i>	Fortnight Lily
<i>Dietes iridiodes</i>	Fortnight Lily
<i>Dietes vegeta</i>	Fortnight Lily
<i>Eriogonum giganteum</i>	St. Catherine's Lace
<i>Festuca glauca</i> and 'Elijah Blue'	Blue Fescue
<i>Festuca mairei</i>	Atlas Fescue
<i>Juniperus</i> s. 'Skyrocket'	Columnar Juniper
<i>Lantana montevidensis</i>	Trailing Lantana
<i>Lavandula</i> 'Goodwin Creek Grey'	Lavender
<i>Lavatera maritime</i>	Tree Mallow
<i>Leymus condensatus</i> 'Canyon Prince'	Creeping Wildrye
<i>Muhlenbergia dubia</i>	Pine Muhly
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Myoporum parvifolium</i> and "Tuscan"	Myoporum
<i>Olea</i> 'Little Ollie'	Dwarf European Olive
<i>Myrsine africana</i>	African Boxwood
<i>Nandina domestica</i>	Heavenly Bamboo
<i>Nandina</i> d. 'Gulf Stream'	Dwarf Heavenly Bamboo
<i>Nandina</i> d. 'Wood's Dwarf'	Dwarf Heavenly Bamboo
<i>Pennisetum spathiolatum</i>	Slender veldt grass
<i>Perovskia atriplicifolia</i> dwarf cultivars	Dwarf Russian Sage
<i>Phormium tenax</i> 'Dark Dancer' and 'Jack Spratt'	Dwarf bronze-brown New Zealand Flax varieties *Avoid large and bright/multi-colored varieties
<i>Phormium</i> t. 'Atropurpureum Compactum'	New Zealand Flax
<i>Phormium</i> 'Platt's Black'	New Zealand Flax
<i>Phormium</i> x. 'Yellow Wave'	New Zealand Flax
<i>Pittosporum tobira</i> 'Variegata'	Variegated Tobira
<i>Podocarpus</i> m. 'Maki'	Shrubby Yew Pine

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RESIDENTIAL DESIGN GUIDELINES FOR DELTA COVES – OCTOBER 9, 2024

<i>Polystichum munitum</i>	Western Sword Fern
<i>Prunus c. 'Column'</i>	Columnar Caroliana Cherry
<i>Rhaphiolepis indica 'Clara'</i>	India Hawthorn
<i>Rhamnus c. 'Mound San Bruno'</i>	Coffeeberry
<i>Rosa spp., groundcover types such as 'Flower Carpet' and "Carpet White"</i>	Roses *Tuck into evergreen plantings for color; interplant with evergreen low groundcover to mask dormancy.
<i>Rosmarinus officinalis 'Mozart'</i>	Rosemary
<i>Rosmarinus o. 'Huntington Carpet'</i>	Trailing Rosemary
<i>Salvia g. 'Glare'</i>	Autumn Sage
<i>Teucrium chamaedrys 'Nanum'</i>	Prostrate germander
<i>Tulbaghia violacea</i>	Society Garlic
<i>Westringia f. 'Morning Light'</i>	Dwarf Coast Rosemary

VINES

<i>Callistemon callistegioides</i>	Violet Trumpet vine
<i>Ficus repens 'Minima'</i>	Creeping Fig
<i>Gelsemium sempervirens</i>	Carolina Jessamine
<i>Hardenbergia violacea</i>	Lilac Vine
<i>Jasminum polyanthum</i>	NCN
<i>Mandevilla laxa</i>	Chilean Bower Vine
<i>Podocarpus m. 'Maki'</i>	Shrubby Yew Pine Esp.
<i>Rosa spp. / Climbing Roses (low water use, heat tolerant varieties: 'Lady Banks,' 'Altissimo,' 'Fourth of July,' and 'Iceberg'</i>	Roses
<i>Solanum jasminoides</i>	Potato Vine
<i>Trachelospermum jasminoides</i>	Star Jasmine

GRASSES

<i>Bermuda Grass</i>	Bermuda Grass
<i>Festuca rubra 'Molate'</i>	Molate Red Fescue (part shade)
<i>Native Meadow Grass</i>	(sod-form low-water use/drought tolerant, as recommended by Delta Bluegrass)

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PLANTS APPROVED FOR BIO-SWALE

<i>Achillea millefolium</i>	Common Yarrow
<i>Arctostaphylos uvaursi</i>	Kinnick-Kinnick
<i>Bouteloua gracilis</i>	Blue Grama
<i>Carex divulsa</i>	Berkeley Sedge
<i>Erigeron glaucus</i>	Seaside Daisy
<i>Festuca californica</i>	California Fescue
<i>Festuca idahoensis</i>	Idaho Fescue
<i>Festuca rubra</i>	Red Fescue
<i>Festuca rubra 'molate'</i>	Molate Fescue
<i>Gazania spp.</i>	Treasure Flower
<i>Juncus patens</i>	Blue Rush
<i>Lavendula spp.</i>	Lavender
<i>Mahonia repens</i>	Creeping Oregon Grape
<i>Mimulus aurantiacus</i>	Common Monkeyflower
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Romarinus officinalis</i>	Rosemary
<i>Salvia clevelandii</i>	Cleveland Sage
<i>Stachys byzantine</i>	Lamb's Ears

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Appendix E

Prohibited Plant List

The following list of invasive species are prohibited at Delta Coves. As information is constantly changing, this list may be updated by the DRC from time to time. This list is derived from Cal-IPC.

Latin binomial

Acacia dealbata
Acacia melanoxylon
Acanthus mollis
Aganpanthus spp.
Ailanthus altissima
Albizia julibrissen
Alhagi maurorum
Aptenia cordifolia
Arcototherca calendula
Arundo donax
Atriplex semibaccata
Avena barbata
Avena fatua
Bassia hyssopifolia
Bellardia trixago
Brassica spp.
Bromus madritensis ssp. rubens
Bromus tectorum
Cardaria chalapensis
Cardaria draba
Cardaria pubescens
Carduus spp.
Carpobrotus edulis
Centaurea spp.
Centranthus rubra
Cirsium spp.
Cistus ladanifer
Conicosia pugioniformis
Conium maculatum
Cortaderia spp.
Cotoneaster spp.
Crataegus monogyna
Cynara cardunculus
Cytisus spp.
Delairea odorata
Digitalis purpurea
Dimorphotheca sinuata
Drosantehmum spp.

Common names

Silver Wattle
 Blackwood Acacia
 Bears Breech
 Lily of the Nile
 Ailanthus, Tree-of-Heaven
 Silk Floss
 Camelthorn
 Red Apple, Baby Sun Rose
 Capeweed, Cape Dandelion
 Giant Reed, Giant Cane
 Australian Saltbush
 Slender Oat
 Wild Oats
 Five-Hook Bassia, Thorn Orache
 Bellardia, Mediterranean Linseed
 Mustards
 Foxtail Chess
 Cheatgrass, Downy Brome
 Lens-Podded Hoary Cress
 Heart-Podded Hoary Cress, White-Top
 Hairy Whitetop
 Thistles
 Highway Iceplant
 Hardheads, Knapweed
 Valarian
 Thistles
 Crimson Spot Rock Rose
 Narrow-Leafed Iceplant
 Poison Hemlock
 Pampasgrass
 Cotoneaster
 Singleseed Fawthorn
 Artichoke Thistle, Cardoon
 Broom
 Cape Ivy, German Ivy
 Foxglove
 African Saisy
 Ice Plant

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

RESIDENTIAL DESIGN GUIDELINES FOR DELTA COVES – OCTOBER 9, 2024

<i>Echium candicans, E. fastuosum</i>	Pride-of-Madeira
<i>Egeria densa</i>	Brazilian Egeria
<i>Ehrharta spp.</i>	Veldtgrass
<i>Eichhornia crassipes</i>	Water Hyacinth
<i>Elaeagnus angustifolia</i>	Russian Olive, Oleaster
<i>Elaeagnus pungens</i>	Silverberry
<i>Erechtites spp.</i>	Fireweed
<i>Eucalyptus camaldulensis</i>	Red Gum
<i>Eucalyptus globulus</i>	Bluegum
<i>Euphorbia spp.</i>	Spurge
<i>Festuca arundinacea</i>	Tall Fescue
<i>Ficus carica</i>	Edible Fig, Common Fig
<i>Foeniculum vulgare</i>	Fennel, Sweet Anise
<i>Gazania linearis</i>	Gazania
<i>Genista spp.</i>	Broom
<i>Halogeton glomeratus</i>	Halogeton
<i>Hedera helix</i>	English Ivy
<i>Hedera canariensis</i>	Algerian Ivy
<i>Helichrysum petiolare</i>	Licorice Plant
<i>Holcus lanatus</i>	Common Velvet Grass
<i>Hydrilla verticillata</i>	Hydrilla, Water Thyme
<i>Hypericum spp.</i>	St. John's Wort
<i>Ilex aquifolium</i>	English Holly
<i>Iris pseudacorus</i>	Yellow Flag Iris
<i>Juniperus spp.</i>	Juniper
<i>Lampranthus spp.</i>	Ice Plant
<i>Lepidium latifolium</i>	Perennial Pepperweed
<i>Leucanthemum vulgare</i>	Ox-Eye Daisy
<i>Ligustrum lucidum</i>	Glossy Privet
<i>Ludwigia hexapetala</i>	Creeping Water Primrose
<i>Ludwigia peploides</i>	California Water Primrose
<i>Lythrum hyssopifolium</i>	Hyssop Loosestrife
<i>Lythrum salicaria</i>	Purple Loosestrife
<i>Malephora spp.</i>	Ice Plant
<i>Marrubium vulgare</i>	Horehound
<i>Maytenus boaria</i>	Mayten
<i>Mentha pulegium</i>	Pennyroyal
<i>Mesembryanthemum spp.</i>	Iceplant
<i>Myoporum laetum</i>	Ngaio Tree
<i>Myriophyllum aquaticum</i>	Brazilian Watermilfoil
<i>Myriophyllum spicatum</i>	Spike Watermilfoil
<i>Nandina spp.</i>	Bamboo
<i>Olea spp.</i>	Olive *Except Fruitless cultivar 'Swan Hill'
<i>Pennisetum spp.</i>	Fountain Grass
<i>Pistacia chinensis</i>	Chinese Pistache *Except Fruitless cultivar 'Keith Davey'

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

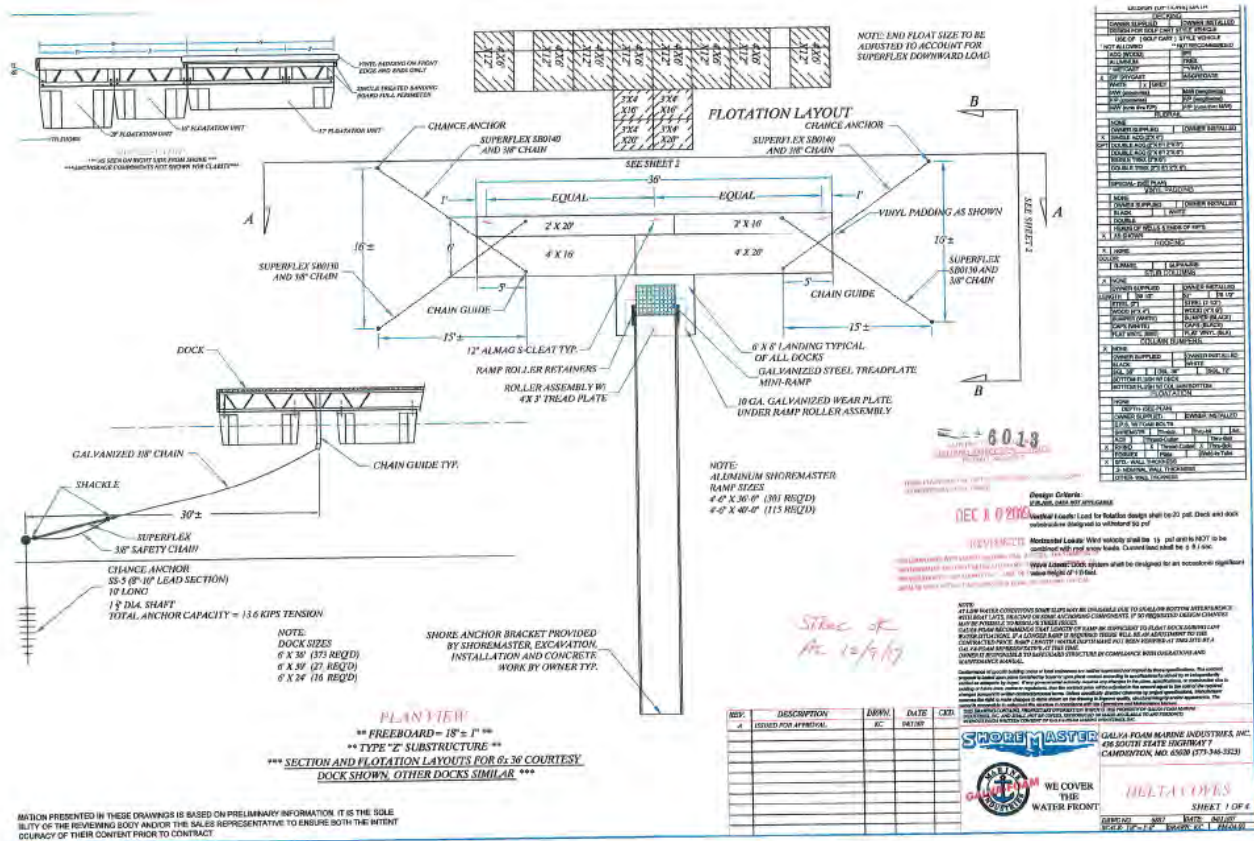
<i>Phalaris aquatica</i>	Harding Grass
<i>Pittosporum spp.</i>	Mock Orange
<i>Platanus acerifolia</i>	Bloodgood Plane Tree
<i>Pyracantha spp.</i>	Firethorn
<i>Retama monosperma</i>	Bridal Veil Broom
<i>Ricinus communis</i>	Castor Bean
<i>Robinia pseudoacacia</i>	Black Locust
<i>Rubus armeniacus</i>	Himalayan Blackberry
<i>Saponaria officinalis</i>	Bouncing Bet
<i>Schinus terebinthifolius /</i>	Brazilian Pepper Tree
<i>Schismus spp.</i>	Mediterranean Grass, Arabian Grass
<i>Senecio jacobaea</i>	Tansy Ragwort, Ivy
<i>Sesbania punicea</i>	Scarlet Wisteria
<i>Silybum spp.</i>	Thistles
<i>Spartina spp.</i>	Cord Grass, Marsh Grass
<i>Spartina patens</i>	Salt Marsh Hay
<i>Stipa manicata</i>	Tropical needlegrass
<i>Taeniatherum caput-medusae</i>	Medusahead
<i>Tamarix parviflora</i>	Tamarisk, Salt Cedar
<i>Ulex europaeus</i>	Common Gorse
<i>Verbena bonariensis</i>	Tall Vervain
<i>Verbascum spp.</i>	Mullein
<i>Vinca spp.</i>	Periwinkle
<i>Zantedeschia aethiopica</i>	Calla Lily

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Appendix F Typical Dock Design Package

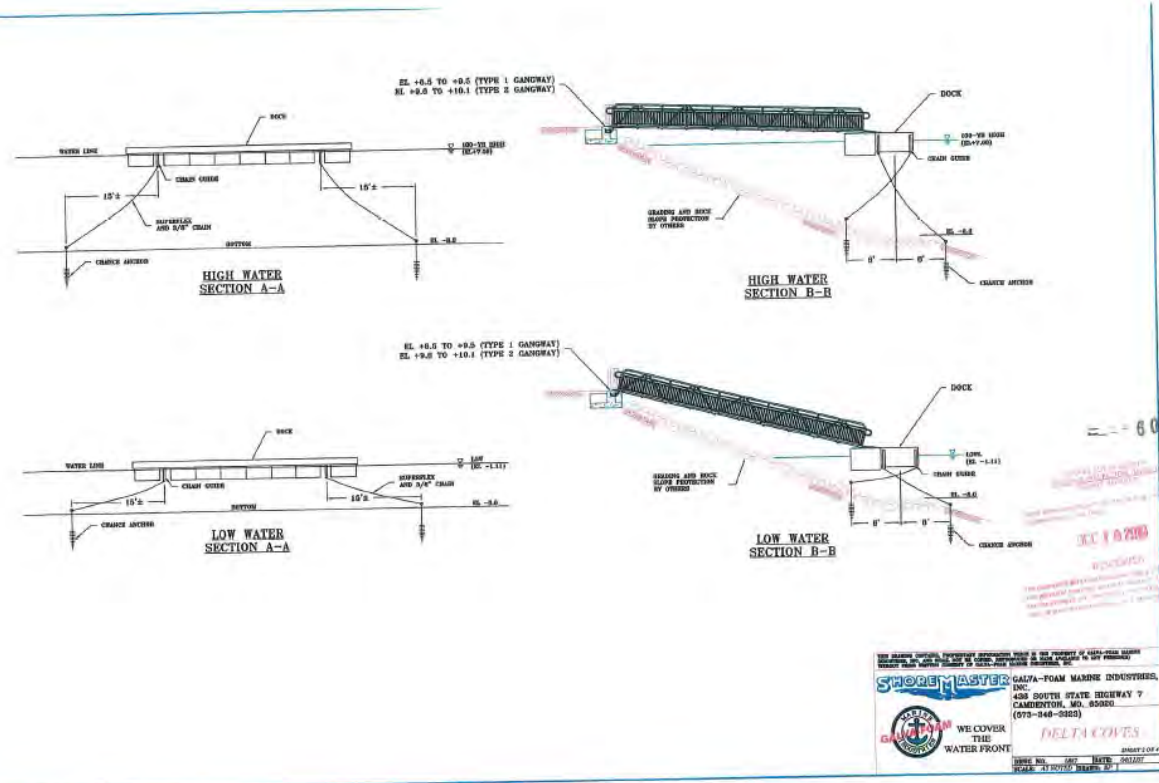
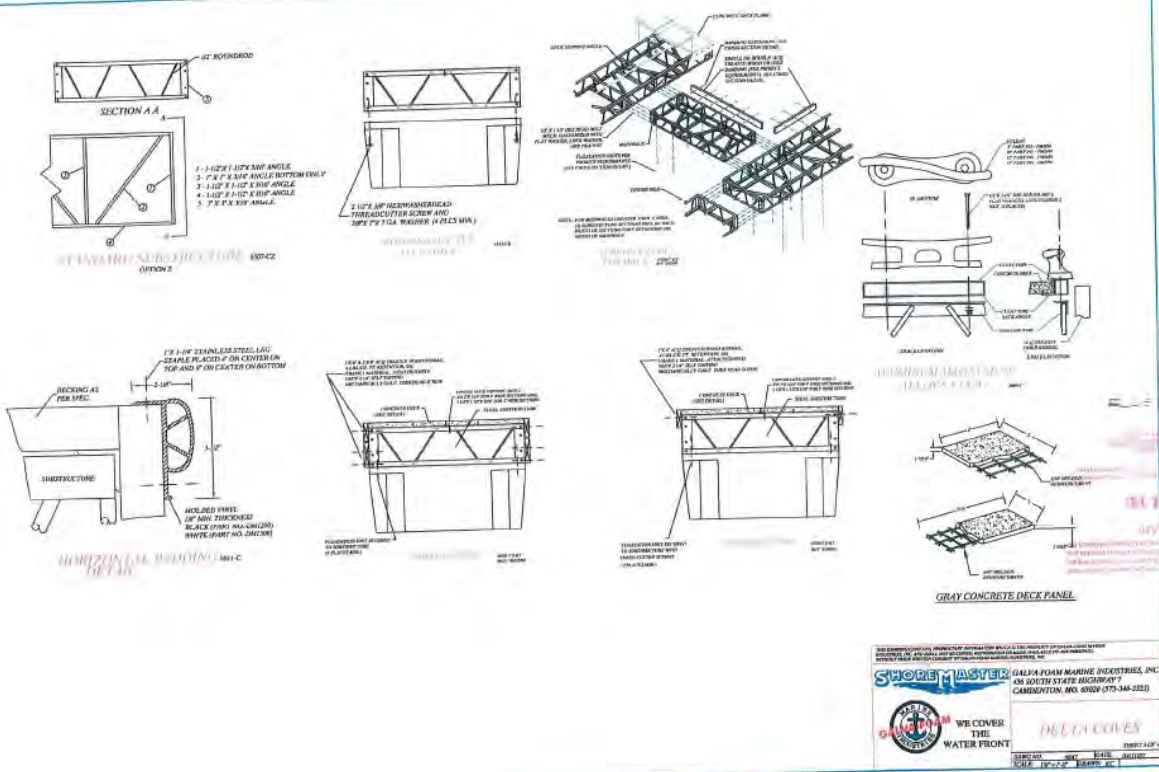
At this time, the engineering, type, materials, components, construction methods, and structural design of all Docks and gangways must comply with the **Typical Dock Design Package** that has been approved by the County on December 10, 2019 under Building Permit #6013, including any amendments, updates and revisions as may be approved by the County from time to time).

Homeowners may request a PDF copy of the Typical Dock Design Package by contacting the office of the DCMC.



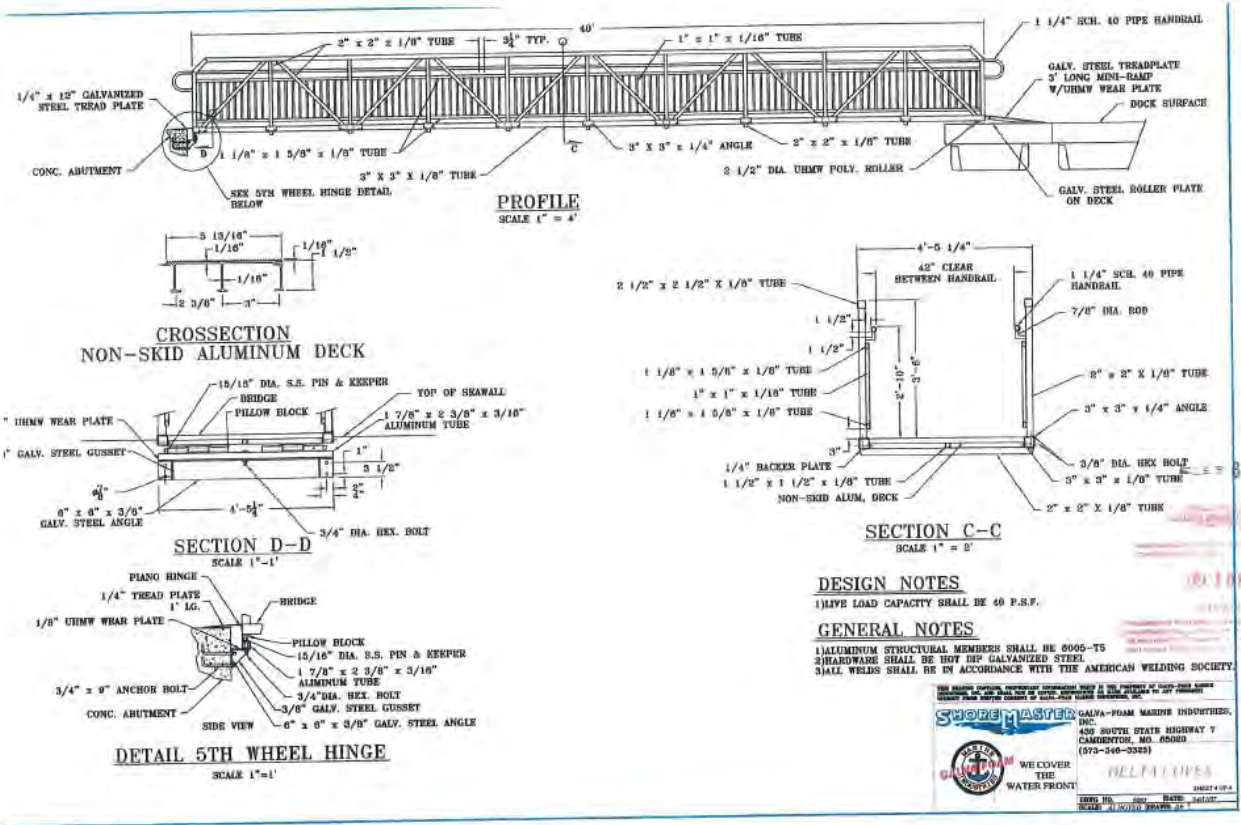
All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

RESIDENTIAL DESIGN GUIDELINES FOR DELTA COVES – OCTOBER 9, 2024



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

RESIDENTIAL DESIGN GUIDELINES FOR DELTA COVES – OCTOBER 9, 2024



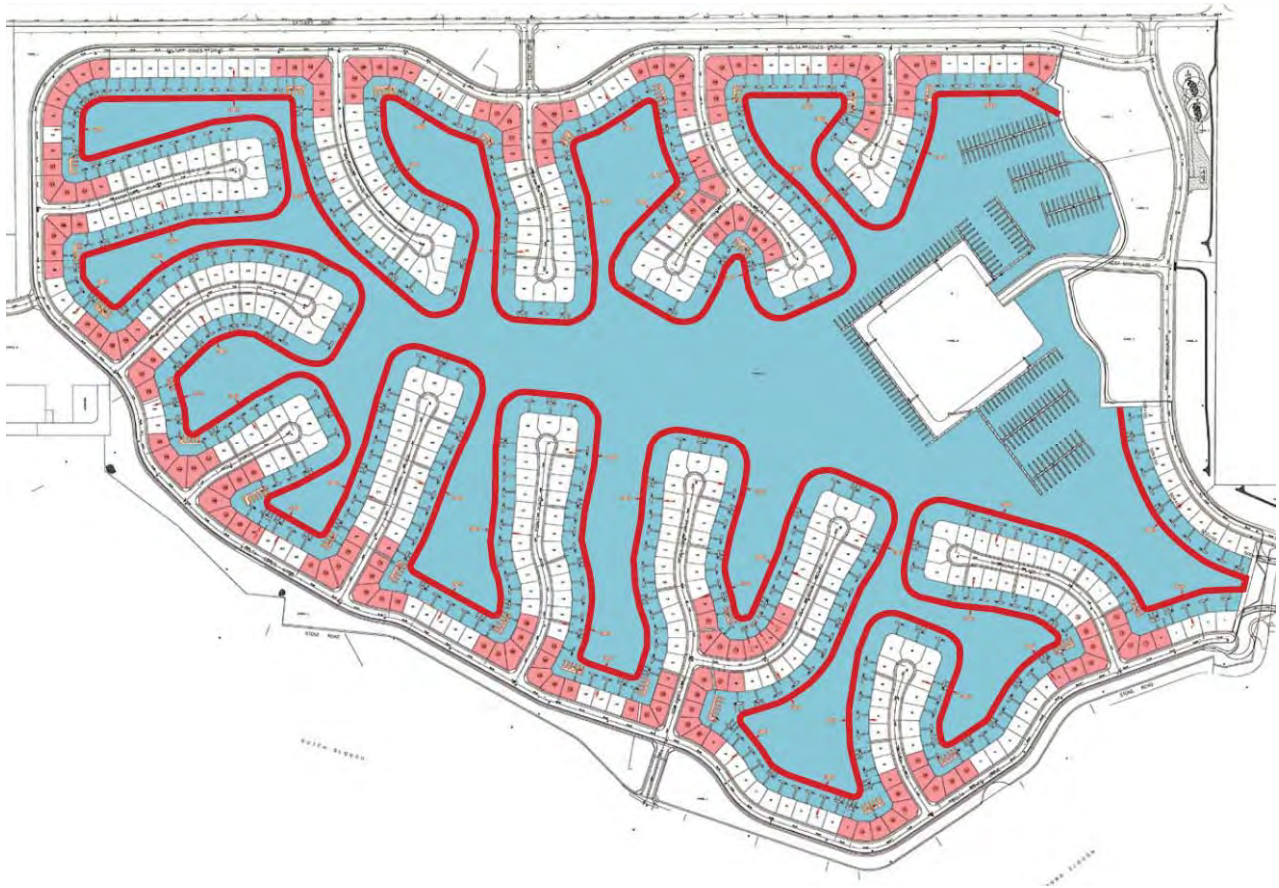
All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Appendix G

Shared Docks

The Lots identified in RED on the map below may have Shared Docks, depending on the final conditions established by the Original Homebuilder at the time of Original Construction.

Refer to Section 8.5 of these Design Guidelines for design criteria for these Shared Docks.



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Appendix H

Outline of the Review and Approval Process For a Deck in the Deck Easement in the Lagoon Zone

The outline below is intended to help Owners navigate the steps in the review and approval processes when designing and constructing a Deck in the Deck Easement in the Lagoon Zone.

For clarity, the Delta Coves DRC has no control over the review and approval processes of BIMID or the County, including timing and schedule. BIMID and the County each administer their own separate review and approval processes. This outline is intended to provide the best information available at this time; yet, the Owner and Contractor need to be aware that both BIMID and the County have the right to change, modify, or enhance their respective review and approval processes without prior to notification to the DRC or to the residents of Delta Coves. Please consult with BIMID and the County for the most current information.

Step 1: Read the Design Guidelines:

- The Owner, design consultant(s), engineers, and Contractor should thoroughly review **Section 7** of the *Delta Coves Residential Design Guidelines* in detail to understand the design criteria applicable to the design and construction of a Deck that is located in the Deck Easement in the Lagoon Zone.
- The Design Guidelines are available online for easy reference by Owners, designers, consultants and contractors at any time at www.deltacovesresidents.com.
- Proper preparation will make the entire review process go more smoothly.

Step 2: Prepare a Site Plan and Design Drawings:

- The DRC recommends that Owners retain experienced, qualified and professional services to prepare the site plan and design drawings necessary to clearly document the project. Due to the complexities and technical requirements of each of the approval processes, a professional team of consultants will be invaluable.
- It is recommended that a registered civil engineer prepares an accurate site plan of your property. The DRC suggests obtaining a copy of the Plot Plan used for the original building permit from the Original Homebuilder to use as the basis for the site plan for your Deck.
- The site plan for the Deck must show: property lines and dimensions, existing easements, setbacks and dimensions, house footprint, gangway location, dock location, deck dimensions, pile locations, grade elevation at rear yard property corners, the deck elevation, hinge point in the Lagoon, drainage swales, and the location and elevation of the Higher High Water Mark of the Lagoon. Refer to Section 7.17 of the *Delta Coves Residential Design Guidelines* for additional information regarding submittal requirements for a Deck, including an illustrative example of a Site Plan.
- Site Plans for Deck designs shall be formatted on 11" x 17" sheets, as required by the County.
- If the Owner intends to use the **Typical Deck Structural Design Package** approved by Delta Coves and the County to construct the Deck, then the Site Plan must also reference the Contra Costa County approved building permit numbers: #6013; #BIRPJ20-00013; and #BIRPJ20-00013-REV1; including any additional amendments and revisions that may be approved by the County from time to time.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- Owners who wish to develop their own structural plans will be subject to additional structural plan check reviews by both BIMID and Contra Costa County Building Department. The DRC discourages alternate structural designs for Decks due to the additional engineering, costs, time, effort and review processes.
- Refer to Section 7.17 of the Design Guidelines for additional requirements for design submittals. Proper preparation will make the entire review process go more smoothly.

Step 3: Obtain Approval from the Delta Coves DRC:

- Submit your complete Design Review Application to Delta Coves Maintenance Corporation (DCMC) for review and approval by the Delta Coves DRC. Your application should include: the Site Plan; elevation of your Deck design; as well as information explaining the railings, fascia, colors, materials and appearance of all proposed improvements. Refer to Section 7.17 of the Design Guidelines for additional requirements for design submittals for Decks.
- As a reminder, incomplete, inaccurate or vague applications will not be approved. Therefore, the DRC recommends that Applicant take their time to prepare a complete, clear, detailed, accurate and easy-to-understand application prior to submittal. Proper preparation will make the review process flow more smoothly.
- The Delta Coves DRC has up to forty-five (45) days to review and provide a written response to a complete Design Review Application.
- Once the Delta Coves DRC approves your application, the Delta Coves DRC will email you a Design Review Report and a copy of the Deck Site Plan with the DRC approval stamp. In addition, the DRC will email you information regarding: BIMID's permit application, BIMID's payment directions, BIMID's indemnity agreement, and BIMID's submission instructions.

Step 4: Obtain Approval from BIMID:

- Submit your complete application to BIMID for review and approval of the proposed Deck.
- The Owner shall complete the *"Application for Delta Coves Rear-Yard Deck Permit Approval"* form. *(A copy of this application form can be obtained from BIMID or from the DCMC.)*
- BIMID requires the Owner to execute an *"Indemnification Agreement"* for any proposed improvements within the areas subject to the purview of BIMID. *(A copy of this agreement can be obtained from BIMID or from the DCMC.)*
- BIMID has established fees for the review process for Decks. Fees applicable to Owners will be determined on a case-by-case basis; and vary for Perimeter Levee Lots and Peninsula Lots. Checks should be payable to BIMID, listing both the lot number and street address on the check. Payments may be mailed to BIMID at PO Box 244, Bethel Island CA 94511; or payments may be made in person at the BIMID office at 3085 Stone Road, Bethel Island CA 94511.
- Once all information has been submitted to BIMID's office, BIMID will perform their review. Upon completion of their review and approval, a BIMID representative will electronically sign your site plan on behalf of BIMID and return it to you for your submittal to Contra Costa County for a Building Permit.
- BIMID has up to thirty (30) days after receipt of final plans, drawings and specifications for their review process; and may request an additional thirty (30) days beyond the initial thirty (30) day period, at BIMID's sole discretion.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Step 5: Obtain Approval and a Building Permit from Contra Costa County:

- Submit your complete application to the Contra Costa County Building Department for review, approval, and issuance of a Building Permit for the proposed Deck.
- Complete a Contra Costa County building permit application and in the project description, the Applicant shall write: “*DECK ONLY*”.
- If using the approved **Typical Deck Structural Design Package**, the Applicant shall reference the permit numbers and dates:
 - **Permit #6013** Approved by the County at 4:19pm on October 5, 2020;
 - **Permit #BIPRJ20-00013** Approved by the County at 4:21pm on October 5, 2020;
 - **Permit #BIPRJ20-00013 Revision 1** Approved by the County at 9:49am on April 15, 2021.
 - Including any additional amendments and revisions as may be approved by the County from time to time.
- At this time, the Contra Costa County Building Department accepts electronic and digital submittals online via the County’s ePermits Center.
- Review and permit fees are determined by the County.
- The timing and length of the review process by the County is determined by the County.
- Once approved, the County will issue a Building Permit for the Deck.
- Prior to commencing construction, the Owner and/or Contractor shall submit a copy of the County Building Permit to the DRC for the DRC’s records.

Step 6: Pre-Construction Meeting with BIMID.

- After obtaining a Building Permit from the County; but prior to commencement of construction; the Owner and/or Contractor shall have a Pre-Construction Meeting with BIMID, as outlined in more detail in Section 7.18.2 of these Design Guidelines.

Step 7: Construction:

- Once all necessary approvals, permits and pre-construction meetings have been satisfied, the Owner may proceed with construction of the Deck subject to strict compliance with the approvals issued by the Delta Coves DRC, BIMID, and the County, including any stipulations of approval from each of the agencies.
- Any changes or modifications to the approved plans must be submitted to and approved by the Delta Coves DRC, BIMID, and the County prior to implementation of such changes. The DRC, BIMID and the County reserve all rights to require that unapproved changes or modifications be removed and/or modified regardless of cost, loss, expense or delay to the Owner and/or Contractor. Therefore, please be sure to obtain approval prior to making any changes or modifications during construction.
- During construction, the Owner and Contractor shall comply with all requirements of BIMID as outlined in more detail in Section 7.18.3 of these Design Guidelines.

Step 8: Post-Construction:

- Once all construction is complete, the Owner and Contractor shall comply with all requirements of BIMID as outlined in more detail in Section 7.18.4 of these Design Guidelines, including the preparation and submittal of accurate “as built” drawings of the Deck and pilings.

Disclaimer: *This document is subject to change without notice. This information is the most current as of the time of its publication, but the Applicant should consult with the Delta Coves DRC, BIMID and the County for any updates, enhancements or additional requirements.*

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Appendix I
Not Used

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Appendix J

Supplemental Design Guidelines for the **Cottages at Delta Coves**

(AKA: “Beacon at Delta Coves”)

9.1. Overview.

The Cottages at Delta Coves is a unique collection of cottage homes situated near Island Camp in the heart of the Delta Coves community. These neighborhoods are located on Lot 2 and Lot 3 of subdivision 9426 of Delta Coves and the homes are unique from the typical single-family detached homes on individual lots located elsewhere in the community. Therefore, these Supplemental Design Guidelines are necessary to address the unique conditions of these particular homes.

The Cottages at Delta Coves have been thoughtfully planned and designed as a holistic concept; therefore, it is often more difficult to make significant changes or modifications to these properties. The objective of the DRC is to retain and maintain the overall neighborhood vision, community context, and aesthetic character for these neighborhoods that were envisioned by the Master Developer and the Original Homebuilder.

Because of the “tight-knit” nature of the Cottage neighborhoods, a small change can often have a direct impact on a neighboring property; therefore, in general, exterior modifications are discouraged; and may be not approved when deemed inappropriate by the DRC.



- Refer to the recorded “Condominium Plan Lot 2 Subdivision 9426”
- Refer to the recorded “Condominium Plan Lot 3 Subdivision 9426”

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

9.2. Design Guidelines.

The *Supplemental Design Guidelines for the Cottages at Delta Coves* are intended to complement, supplement and expand on the overall *Residential Design Guidelines for Delta Coves*. Both sets of Design Guidelines will apply to the Cottage neighborhoods. Although efforts have been made to avoid conflicts and contradictions between the *Supplemental Design Guidelines for the Cottages at Delta Coves* and the overall *Residential Design Guidelines for Delta Coves*, if conflicts or contradictions exist, the strictest interpretation shall apply, unless specifically approved otherwise by the DRC.

If the *Supplemental Design Guidelines for the Cottages at Delta Coves* do not address a specific topic or specific improvement, then the DRC may apply the standard criteria in the overall *Residential Design Guidelines for Delta Coves* when appropriate and in the sole discretion of the DRC.

The interpretation, application and administration of the *Residential Design Guidelines for Delta Coves* and the *Supplemental Design Guidelines for the Cottages at Delta Coves* shall be at the sole discretion of the DRC. Because of the unique conditions of the Cottage neighborhoods, the DRC has discretion on the interpretation, application and administration of the Design Guidelines in order to maintain the appearance and overall objectives of these unique neighborhoods.

REMINDER:

If the ***Supplemental Design Guidelines for Cottages at Delta Coves*** do not cover a particular topic, then the DRC may apply the standard requirements in the overall ***Residential Design Guidelines for Delta Coves*** when appropriate and in the sole discretion of the DRC.

In general, the Private Courtyard will be subject to the same design criteria as the “Rear Yard Zone” of the *Residential Design Guidelines for Delta Coves*, unless more restrictive criteria exists in this Appendix “J”. Nonetheless, the DRC reserves the right to create addition design criteria or stipulations based on the specific conditions of each application.

9.3. Design Review Committee. The *Supplemental Design Guidelines for the Cottages at Delta Coves* and the *Residential Design Guidelines for Delta Coves* will be administered by the Delta Coves Design Review Committee as outlined in Section 1 of the *Residential Design Guidelines for Delta Coves*. Because of the unique conditions of the Cottage neighborhoods, the DRC has discretion on the interpretation, application and administration of these Design Guidelines in order to maintain the appearance and overall objectives of the Cottage neighborhoods.

- Refer to Section 1 for “*Introduction to Design Review*”.

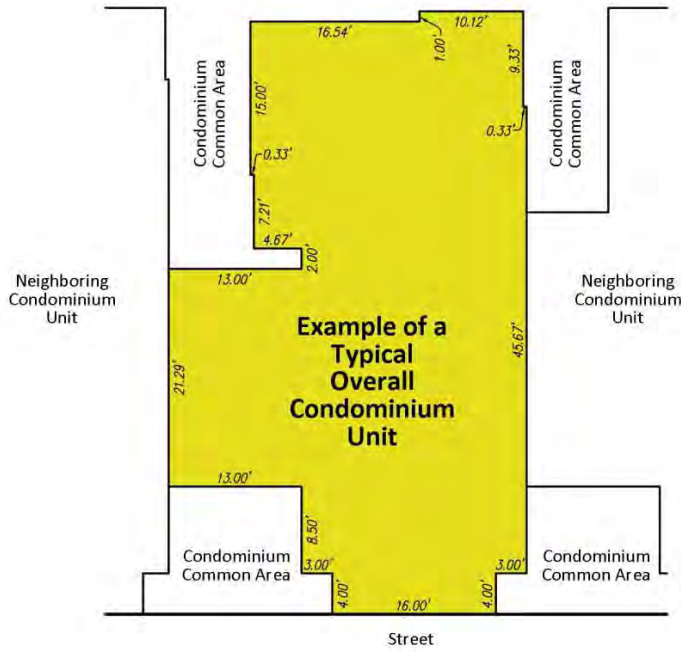


Artist's Conception

9.4. Property Ownership / Condominium Unit.

- a) The properties in Lot 2 are legally described as part of the “*Condominium Plan Lot 2 Subdivision 9426*” as recorded in the official records of the Office of the County Recorder of Contra Costa County, California, including any amendments or supplements that may be made from time to time.
- b) The properties in Lot 3 are legally described as part of the “*Condominium Plan Lot 3 Subdivision 9426*” as recorded in the official records of the Office of the County Recorder of Contra Costa County, California, including any amendments or supplements that may be made from time to time.
- c) The DRC encourages Owners, Designers and Contractors to become familiar with the *Supplemental Master Declaration* and the *Condominium Plans* for these parcels in order to understand the unique conditions of these neighborhoods.
 - Refer to “*Condominium Plan Lot 2 Subdivision 9426*”
 - Refer to “*Condominium Plan Lot 3 Subdivision 9426*”
 - Refer to “*Supplemental Master Declaration Delta Coves Phase 5*”.
 - Refer to “*Supplemental Master Declaration Delta Coves Phase 6*”.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

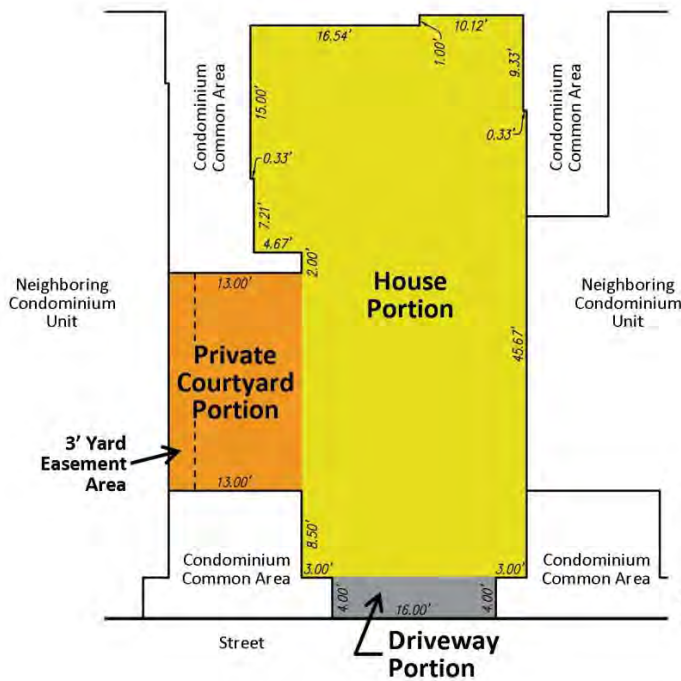


CONDOMINIUM PLAN
LOT 2
SUBDIVISION 9426

Refer to the applicable *Condominium Plan* for the legal boundaries of each individual Condominium Unit.

The Owner is responsible to maintain all improvements within the Condominium Unit.

Unless specifically allowed otherwise, the Owner of a Condominium Unit may not install improvements in the Condominium Common Area.



CONDOMINIUM PLAN
LOT 2
SUBDIVISION 9426

All buildings, porches and balconies must be located within the "House Portion" of the Condominium Unit.

All driveways must be located within the "Driveway Portion" of the Condominium Unit.

All site amenities such as: patios, umbrellas, shade structures, barbeques, fire elements, spas, etc. must be located within the "Private Courtyard Portion" of the Condominium Unit.

Unless specifically allowed otherwise, the Owner of a Condominium Unit may not install improvements in the Condominium Common Area.

Diagram of Typical Condominium Unit

This diagram is **CONCEPTUAL** only and is intended to explain "typical" and common conditions. Refer to the *Supplemental Master Declaration* and the recorded *Condominium Plan* for specific conditions for specific properties.

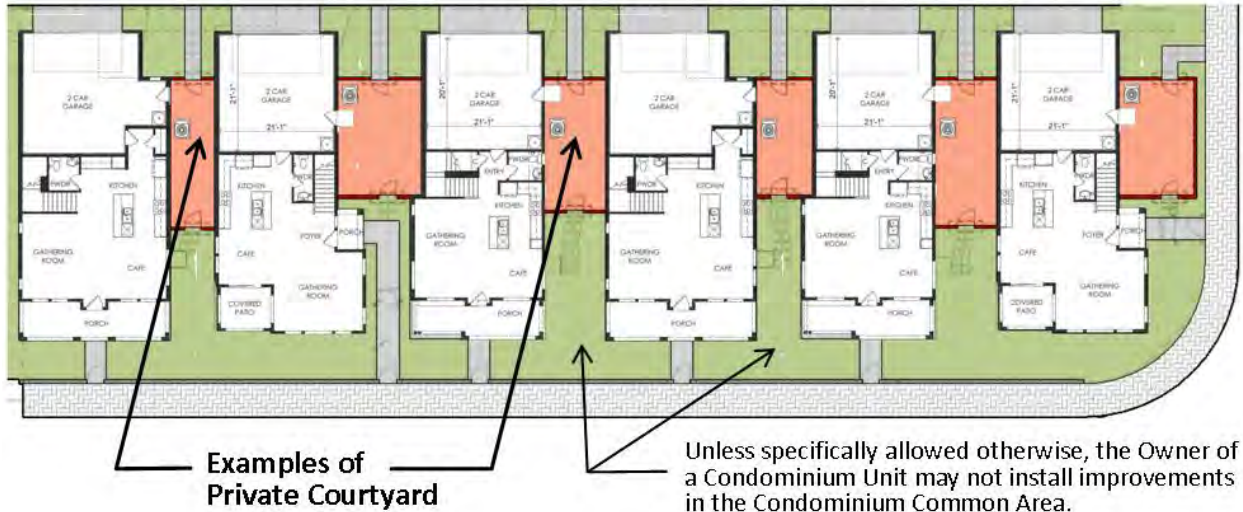
All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

9.5. Private Courtyard.

- a) Each home in the Cottage neighborhoods is created with a Private Courtyard on the side of the home that is located within the legally defined Condominium Unit as shown on the applicable recorded Condominium Plan.
 - b) The location and extents of the Private Courtyard for each Condominium Unit are established by the applicable recorded Condominium Plan.
 - c) The size, location, extents and configuration of the Private Courtyard may not be modified, enlarged or expanded.
 - d) The Owner of a Condominium Unit is responsible for the maintenance of all improvements within the Private Courtyard, including the maintenance of both sides of the yard fence and gates that surround the Private Courtyard.
- Refer to “Condominium Plan Lot 2 Subdivision 9426”
 - Refer to “Condominium Plan Lot 3 Subdivision 9426”
 - Refer to “Supplemental Master Declaration Delta Coves Phase 5”.
 - Refer to “Supplemental Master Declaration Delta Coves Phase 6”.

REMINDER:

The size and configuration of the Private Courtyard may not be expanded or enlarged. The *Condominium Plan* legally defines the location and extents of the Private Courtyard for each Condominium Unit.

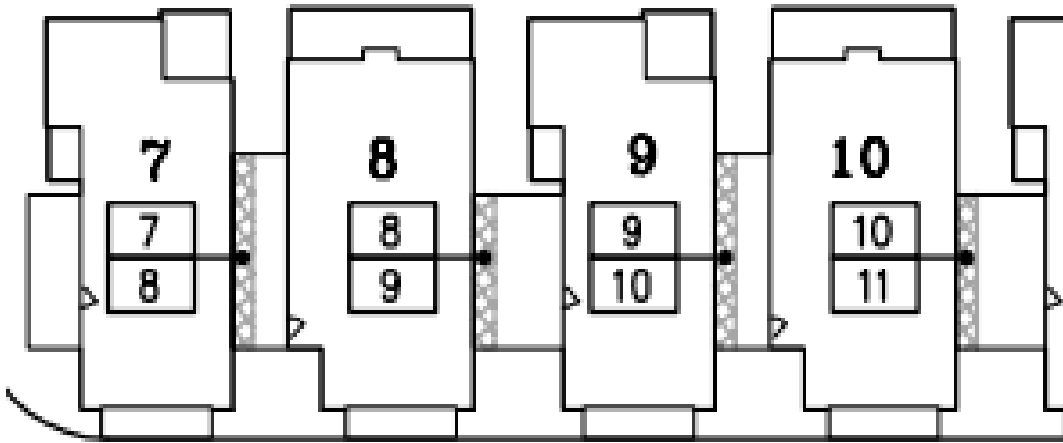


Refer to the applicable recorded *Condominium Plan* for the location and extents of the Private Courtyard for each individual Condominium Unit.




All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

9.6. Yard Easement Area.

- a) As explained in Section 9.5 of these Design Guidelines, a Private Courtyard on the side of each home is legally described as part of the applicable recorded Condominium Plan.
- b) Within the Private Courtyard, each Condominium Unit has a legally defined Yard Easement Area as described and defined by the *Supplemental Master Declaration*. The purpose of the Yard Easement Area is to allow an Owner to maintain the side of their home (including, but not limited to foundation, walls, windows, overhangs and roofs) that is located immediately adjacent to their neighbor’s Private Courtyard. Refer to the *Supplemental Master Declaration* for further information.
- c) No improvements may be installed or maintained in the 3’-0” wide Yard Easement Area that would preclude, impede or inhibit the ability for an Owner to maintain the exterior of their home in a reasonable manner.
- d) The DRC reserves the right to grant a larger temporary right-of-entry or temporary construction access to facilitate repairs, if necessary.
 - Refer to “*Condominium Plan Lot 2 Subdivision 9426*”
 - Refer to “*Condominium Plan Lot 3 Subdivision 9426*”
 - Refer to “*Supplemental Master Declaration Delta Coves Phase 5*”.
 - Refer to “*Supplemental Master Declaration Delta Coves Phase 6*”.



LEGEND:

-  3 FEET WIDE YARD AREA
-  BENEFITED UNIT
-  BURDENED UNIT

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

9.7. Condominium Common Area / Special Benefit Area / Special Benefit Maintenance Area.

- a) In general, the Condominium Common Area, as defined on the applicable Condominium Plan and applicable *Supplemental Master Declaration* are maintained by the “Special Benefit Area” as outlined in the *Supplemental Master Declaration* and as generally shown on the attached illustration. The DRC encourages Owners, Designers and Contractors to become familiar with the provisions of the *Supplemental Master Declaration* in order to understand the unique maintenance conditions of the Condominium Common Areas that are maintained by the Special Benefit Area.
- b) In general, Owners are not allowed to change, modify or install improvements within the Condominium Common Areas that are maintained by the Special Benefit Area, unless specifically approved otherwise by the DRC.
 - Refer to “*Condominium Plan Lot 2 Subdivision 9426*”
 - Refer to “*Condominium Plan Lot 3 Subdivision 9426*”
 - Refer to “*Supplemental Master Declaration Delta Coves Phase 5*”.
 - Refer to “*Supplemental Master Declaration Delta Coves Phase 6*”.

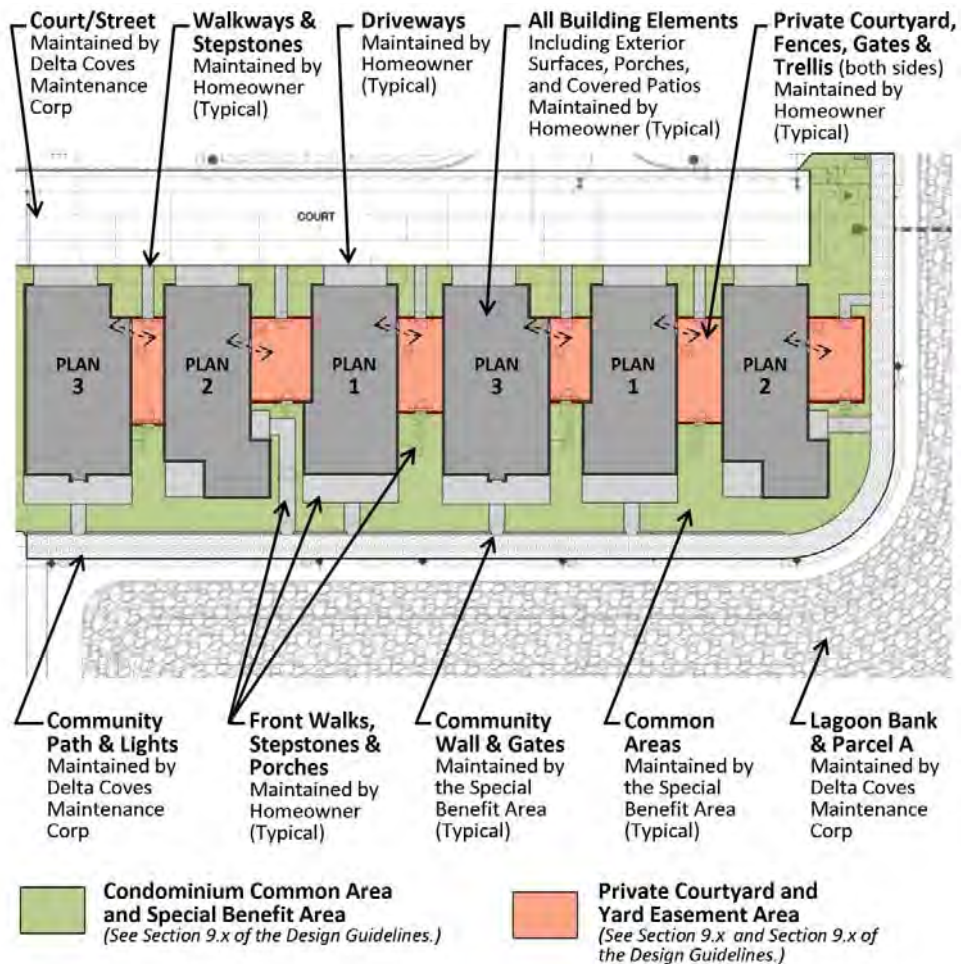


Diagram of Typical Conditions and Maintenance Obligations

This diagram is **CONCEPTUAL** only and is intended to explain “typical” and common conditions. Refer to the *Supplemental Master Declaration* for specific conditions for specific properties.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- 9.8. No Interference with Designed Drainage.** Per Section 11(f) of the applicable *Supplemental Master Declaration*: The Yard Easement Area shall not be used in any manner which interferes with drainage designed and constructed by the Original Homebuilder. For example, and not by way of limitation, decking or other improvements shall not increase the amount of surface water which flows onto a neighboring property.
- Refer to the applicable "*Supplemental Master Declaration*".
- 9.9. No Attachment or Contact with Adjoining Residence.** Per Section 11(g) of the applicable *Supplemental Master Declaration*: No Improvement of any kind shall be attached to the wall of the adjoining Residence except for those Improvements installed as part of the Original Construction of the Residences and replacements thereof. The Yard Easement Area shall not be used in such a manner which results in any physical contact with any portion of the adjoining Residence.
- Refer to the applicable "*Supplemental Master Declaration*".



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Site Design

9.10. Building Setbacks / Separation.

- a) All buildings, including but not limited to: garage, covered patios, and front porches, must be located within the legally defined Condominium Unit.
- b) Buildings may not be located in the “Private Courtyard Portion” or the “Driveway Portion” of the Condominium Unit. Refer to the illustrations in Section 9.4 of these Design Guidelines.
 - Refer to Section 9.4 for “Property Ownership / Condominium Unit”.

9.11. Community Walls and Community Fences.

- a) The low-scale masonry Community Walls, wood Community Fences, pedestrian gates and vehicular gates are part of the Condominium Common Areas and are maintained by the Special Benefit Area, including both sides of the wall, fence, and gate.
- b) No changes or modifications are allowed to a Community Wall or Community Fence by an Owner, including, but not limited to: increases in height; changes in location; or constructing and/or placing improvements attached to either side of the Community Wall or Community Fence; or on top of the Community Wall or Community Fence.
- c) No changes or modifications are allowed to a gate that is located in a Community Wall or Community Fence, including gates that lead to an individual residential unit.
 - Refer to Section 9.7 for “Condominium Common Area / Special Benefit Area / Special Benefit Maintenance Area”.

9.12. Fences at Private Courtyard.

- a) The location and extents of the Private Courtyard may not be expanded or enlarged because the location and extents of the Private Courtyard are legally defined by the Condominium Plan and the *Supplemental Master Declaration*. An Owner may not enlarge the size or configuration of their Private Courtyard.
- b) The height of the fence around the Private Courtyard may not be increased from the height that was constructed as part of the Original Construction by the Original Homebuilder. The height of a fence and gate around the Private Courtyard may not exceed 6’-0” tall as measured above the adjacent finished grade.
- c) The color and/or materials of the fence around the Private Courtyard may not be changed. The objective is to maintain a consistent and cohesive appearance for all Private Courtyards around the entire neighborhood.
- d) The size and quantity of gates at the Private Courtyard may not be changed or modified. The DRC may consider minor shifts in the location of the gate to a Private Courtyard provided that the shift does not result in the Private Courtyard becoming larger. The DRC will consider modifications to the width of a gate to accommodate accessibility issues on a case-by-case basis.
- e) Both sides of the wood fences, trellis, and gates around the Private Courtyard shall be maintained by the respective Owner.
- f) The DRC may allow small sections of fence to be added within the limits of the existing Private Courtyard on a case-by-case basis. For example, the addition of a small fence to screen the exterior air conditioning equipment within the Private Courtyard would be evaluated on a case-by-case basis.

REMINDER:

The size and configuration of the Private Courtyard may not be expanded or enlarged.

The Condominium Plan legally defines the location and extents of the Private Courtyard.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

9.13. Parking.

- a) Parking of vehicles of any type on the streets, alleys, shared drives, common areas, or driveway aprons within the Cottage neighborhoods shall comply with the *“Delta Coves Vehicle Operation and Parking Policy”* as administered by the DCMC, including any amendments that may be made from time to time. A copy of the *“Delta Coves Vehicle Operation and Parking Policy”* is available for review online at www.deltacovesresidents.com or by contacting the offices of DCMC.
- b) A limited number of designated guest parking spaces are provided at Island Camp, as outlined in the *“Delta Coves Vehicle Operation and Parking Policy”*.
- c) Parking is not allowed on a private driveway or driveway apron in front of the garage door of the residential unit; and in particular, a vehicle may not be parked “sideways” on a driveway apron in front of the garage door.
 - Refer to Section 4.55 for *“Parking”*.
 - Refer to Section 9.14 for *“Private Driveways and Private Driveway Aprons”*.
 - Refer to Section 9.33 for *“Garages”*.
 - Refer to the *“Delta Coves Vehicle Operation and Parking Policy”* at www.deltacovesresidents.com.

9.14. Private Driveways and Private Driveway Aprons.

- a) The individual private driveways and private driveway aprons at each home are located within the legally described Condominium Unit as shown on the Condominium Plan.
- b) A private driveway or driveway apron may not be expanded or enlarged because such driveway must be located within the legally described Condominium Unit.
- c) Changes to the colors and/or materials of the driveways are not allowed, unless specifically approved otherwise by the DRC.
- d) The individual private driveways and private driveway aprons are maintained by the respective Owner, including, but not limited to: cleaning, maintaining, repair or replacement.
 - Refer to Section 4.26 for *“Driveways”* for additional design criteria.
 - Refer to Section 9.33 for *“Garages”*.
 - Refer to Section 9.13 for *“Parking”*.
 - Refer to the *“Delta Coves Vehicle Operation and Parking Policy”* at www.deltacovesresidents.com.

9.15. Private Walkways.

- a) Changes or modifications to the location, size, colors or materials of the private walkways and stepping pads are not allowed, except as specifically allowed below or as otherwise specifically approved by the DRC.
- b) Walkways constructed of a collection of individual stepping pads may be replaced with a continuous walkway, if approved by the DRC. The size of the replacement walkway may not exceed forty-inches (42”) wide.
- c) A separate private walkway from the covered patio of Plan 2 to the public sidewalk / community path is not allowed.
- d) All private walkways and stepping pads shall be maintained by the respective Owner, including, but not limited to: cleaning, maintenance, repair and replacement.
 - Refer to Section 4.101 for *“Walkways and Sidewalks”* for additional design criteria.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

9.16. Trash and Recycling.

- a) Each home in the Cottage neighborhoods is assigned a specific location for the Owner to place the trash and recycling bins for collection on designated collection days. Trash and recycling containers shall only be placed at the street or alley on regularly scheduled pick-up dates.
- b) Trash and recycling containers must be stored in the garage or within the Private Courtyard behind the yard fences and yard gates and shall be screened from Public View at all other times.
- c) Trash and recycling containers may not be stored on any Condominium Common Area; including the Condominium Common Area between homes adjacent to the street or alley.
 - Refer to Section 4.97 for “*Trash and Recycling Containers*” for additional design criteria.
 - Refer to the “*The Cottage Neighborhoods Trash and Recycling Policy*” at www.deltacovesresidents.com.

9.17. Accessory Buildings and Structures. Accessory buildings and accessory structures are not allowed in the Cottage neighborhoods, except as specifically allowed for “Shade Structures” and “Storage Sheds” as outlined in this Appendix “J”.

- Refer to Section 9.28 for “*Shade Structures*”.
- Refer to Section 9.30 for “*Storage Sheds and Storage Structures*”.

9.18. Address Identification / Address Markers.

- a) In addition to the typical design criteria outlined in Section 4.4 of the Design Guidelines, each home in the Cottages neighborhoods shall have one (1) address identification marker adjacent to the garage door; and may have one (1) additional identification marker located on the front elevation of the house or near the front door of home.
- b) Address identification and address markers are not allowed to be attached to a Community Wall or Community Fence.
 - Refer to Section 4.4 for “*Address Identification / Address Markers*” for additional criteria.

9.19. Art, Artwork, Sculpture and Ornamentation (Exterior).

- a) All exterior art, artwork, sculptures, ornamentation, decorative elements, and other decorative exterior components, objects or items must be located with the Private Courtyard and must be located a minimum of twelve inches (12”) from a neighboring home.
- b) Exterior ornamentation located within the Private Courtyard that is lower than the top of the fences and gate around the Private Courtyard does not require the approval of the DRC.
- c) Exterior Ornamentation may not be attached, hanging or mounted to a fence, gate, or railing that is visible from Public View, except that the DRC may allow up to two (2) small pieces of exterior ornamentation to be mounted on each gate to the Private Courtyard provided that the overall size of the Exterior Ornamentation does not exceed 3’-0” x 3’-0” in total. Any such Exterior Ornamentation that is Visible from Public View must be approved by the DRC prior to installation.
- d) Exterior art, artwork, sculptures and ornamentation are not allowed to be located within the Condominium Common Areas, including exposed yards and landscape locations near the home, unless specifically approved otherwise by the DRC.
- e) Per Section 4.9(d)(iii) of the Design Guidelines, the DRC reserves the right to allow Exterior Ornamentation on a Front Porch on a case-by-case basis when specifically approved by the DRC. Typically, the DRC will not allow more than three (3) pieces of Exterior Ornamentation in these areas.
- f) Per Section 11(g) of the *Supplemental Master Declaration*: No Improvement of any kind, including Exterior Ornamentation, shall be attached to the wall of a neighboring home.
 - Refer to Section 4.9 for “*Art, Artwork, Sculpture and Ornamentation (Exterior)*” for additional design criteria.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

9.20. Barbeques and Outdoor Cooking Equipment. Barbeques and other Outdoor Cooking Equipment may be allowed if approved by the DRC and subject to compliance with the following design criteria:

- a) All portable barbeques and other portable Outdoor Cooking Equipment must be located within the Private Courtyard and must be located a minimum of twelve inches (12") away from a neighboring home. Portable barbeques and other portable Outdoor Cooking Equipment do not require the approval of the DRC provided such improvements comply with the criteria noted herein.
- b) All permanent or built-in barbeques and other permanent Outdoor Cooking Equipment and accessories, including islands and counters, must be located within the Private Courtyard and must be located a minimum of three feet (3'-0") away from a neighboring home. A permanent or built-in barbeque or other permanent Outdoor Cooking Equipment is not allowed to be located within the 3' Yard Easement Area.
- c) Barbeques and other Outdoor Cooking Equipment are not allowed to be located on a front porch or front balcony.
- d) Barbeques and other Outdoor Cooking Equipment are not allowed to be located within any Condominium Common Areas.
 - Refer to Section 4.12 for "*Barbeques and Outdoor Cooking Equipment*" for additional design criteria.
 - Refer to Section 9.6 for "*Yard Easement Area*".

9.21. Docks.

- a) Refer to the applicable *Supplemental Master Declaration* regarding Docks and "*Assigned Docks*" for Condominium Units in the Cottage neighborhoods.
- b) For information, policies, rules and requirements for the use of the common docks, including potential improvements at such docks, refer to the "*Delta Coves Dock Rules and Regulations*" as administered by the Delta Coves Maintenance Corporation, including any amendments and updates as may be made from time to time.
 - Refer to the separate document for "*Delta Coves Dock Rules and Regulations*".

9.22. Exterior Equipment.

- a) All exterior equipment, including air conditioning equipment, must be located with the Private Courtyard behind the Yard Fence such that the equipment is not Visible from Public View.
- b) Exterior equipment may not be located within the 3' Yard Easement Area.
- c) Exterior equipment is not allowed to be located within any Condominium Common Area.
 - Refer to Section 4.5 for "*Air Conditioning and HVAC Equipment*" for additional design criteria.
 - Refer to Section 9.6 for "*Yard Easement Area*".

9.23. Fireplaces, Fire Pits and Other Outdoor Fire Elements. Fire pits, fireplaces, and other outdoor fire elements may be allowed if approved by the DRC and subject to compliance with the following design criteria:

- a) All outdoor fireplaces, fire pits, and other outdoor fire elements must be located in the Private Courtyard and must be located a minimum of three feet (3'-0") away from any neighboring home. A Fire Pit or other outdoor fire element is not allowed to be located within the 3' Yard Easement Area.
- b) Outdoor Fire Fits and other fire elements are not allowed within any Condominium Common Area.
- c) All outdoor fire elements must comply with applicable codes, ordinances, separation requirements and clearances of the County or any other applicable regulatory agency.
 - Refer to Section 4.32 for *"Fireplaces, Fire Pits and Other Outdoor Fire Elements"* for additional design criteria.
 - Refer to Section 9.6 for *"Yard Easement Area"*.

9.24. Flags and Flagpoles.

- a) Free-standing flagpoles are not allowed in the Cottage neighborhoods, including within the Private Courtyard.
- b) Building mounted flags may be allowed when approved by the DRC and subject to compliance with the design criteria in Section 4.33 of the Design Guidelines.
 - Refer to Section 4.33 for *"Flags and Flagpoles"* for additional design criteria.

9.25. Patios.

- a) Patios and other hard surface outdoor sitting areas are only allowed within the Private Courtyard and within the Condominium Unit defined by the Condominium Plan.
- b) Patios and other hard surface outdoor sitting areas are not allowed within any Condominium Common Areas.

9.26. Pools and Spas.

- a) Swimming pools and in-ground spas are not allowed in the Cottage neighborhoods.
- b) An above-ground, pre-manufactured, spa unit may be allowed if approved by the DRC and if located within the Private Courtyard provided that the spa unit is located a minimum of three feet (3'-0") from a neighboring home. An above-ground spa unit is not allowed to be located within the 3' Yard Easement Area.
- c) Pools, spas and other water elements are not allowed within any Condominium Common Areas.
 - Refer to Section 4.66 for *"Pools and Spas"* for additional design criteria.
 - Refer to Section 9.6 for *"Yard Easement Area"*.

9.27. Pots and Planters.

- a) Portable pots, portable planters, and other portable landscape containers are allowed in the Private Courtyard, provided that such items are located a minimum of twelve inches (12") away from the neighboring home.
- b) Up to two (2) portable pots or portable landscape planters are allowed on a Front Porch.
- c) Portable pots, planters and landscape containers are not allowed within any Condominium Common Areas, unless specifically approved otherwise by the DRC.
 - Refer to Section 4.64 for *"Pots and Planters"* for additional design criteria.

- 9.28. Shade Structures.** The addition of patio covers, patio roofs, trellises, ramadas, pergolas, gazebos, and other types of Shade Structures may be allowed if approved by the DRC and subject to compliance with the following design criteria.
- a) A Shade Structure must be located within the Private Courtyard and within the Condominium Unit defined by the Condominium Plan. Shade Structures are not allowed within any Condominium Common Areas.
 - b) The exterior face of a support posts and primary beams of the Shade Structure must be located a minimum of five feet (5'-0") away from the exterior face of a neighboring home.
 - c) The rafters, trellis members, and overhangs may project past the support posts and primary beams, provided that the outermost edge of the rafter, trellis members and overhangs are located a minimum of three feet (3'-0") away from the exterior face of a neighboring home.
 - d) Shade Structures must comply with any setback and/or separation requirements of the County.
 - e) A Shade Structure may not adversely impact the drainage of the Private Courtyard.
 - f) For the small Private Courtyards in the Cottage neighborhoods, attached trellis Shade Structures that are constructed of aluminum components (such as Alumawood®, Elitewood® or Duralum®) are the preferred solution. These types of Shade Structures are attractive; low-maintenance; reasonable cost; and fit the architectural character of the homes.
 - Refer to Section 4.83 for "*Shade Structures*" for additional design criteria.
 - Refer to Section 9.6 for "*Yard Easement Area*".
- 9.29. Storage (Outdoor / Unenclosed).**
- a) All outdoor storage must be fully contained within the fenced Private Courtyard, including, but not limited to recreation equipment such as paddleboards and kayaks. Items that are stored in the Private Courtyard may not be higher than the top of the Yard Fence around the Private Courtyard.
 - b) Storage of construction materials, construction supplies, and construction equipment are not allowed within a Private Courtyard.
 - c) Storage of flammable or hazardous materials is not allowed within a Private Courtyard.
 - d) Storage in the Private Courtyard that is located within the 3' Yard Easement Area may not impede the ability of the adjacent Owner to maintain the exterior of their home; nor may such storage have a negative effect on the structure or surfaces of the adjacent home; nor on the drainage patterns adjacent to the neighboring home.
 - Refer to Section 4.91 for "*Storage (Exterior/ Unenclosed)*" for additional design criteria.
 - Refer to Section 9.6 for "*Yard Easement Area*".
- 9.30. Storage Sheds and Storage Structures.** Storage sheds and other exterior storage structures may be allowed if approved by the DRC and subject to compliance with the following design criteria.
- a) A storage shed or storage structure must be located within the Private Courtyard that is located between two (2) homes. A storage shed or storage structure is not allowed in a Private Courtyard that is exposed to Public View; therefore, if the side of a Private Courtyard opens to common area or the Lagoon, then a storage structure that is taller than the Yard Fence is not allowed in this type of Private Courtyard configuration.
 - b) Storage structures are not allowed within any Condominium Common Area.
 - c) The exterior face of a storage structure must be located a minimum of five feet (5'-0") away from the exterior face of a neighboring home.
 - d) The overhangs may project past the walls of the storage structure provided that the outermost edge of the overhangs are located a minimum of three feet (3'-0") away from the exterior face of a neighboring home.

All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- e) Storage sheds and storage structures must comply with any setback and/or separation requirements of the County, including applicable Fire Codes.
- f) A storage shed or storage structure may not adversely impact the drainage of the Private Courtyard.
- g) Flammable or hazardous materials may not be stored in a storage structure.
- h) Portable low-scale storage structures are allowed to be located within the Private Courtyard if the highest point of the storage structure is lower than the height of the fence around the Private Courtyard and if the portable low-scale storage structure is located at least twelve inches (12") away from the exterior face of a neighboring home. Such low-scale storage structures that comply with this criteria do not require approval from the DRC.
 - Refer to Section 4.92 for *"Storage Structures"* for additional design criteria.
 - Refer to Section 9.6 for *"Yard Easement Area"*.

9.31. Water Features. Water features and fountains may be allowed when approved by the DRC and subject to compliance with the following criteria:

- a) All water features and fountains must be located within in the Private Courtyard and must be located a minimum of three feet (3'-0") away from any neighboring home and may not be located within the 3' Yard Easement Area.
- b) The height of a water feature may not exceed the height of the Yard Fence around the Private Courtyard.
- c) Water features and fountains are not allowed within any Condominium Common Areas.
 - Refer to Section 4.102 for *"Water Features"* for additional design criteria.
 - Refer to Section 9.6 for *"Yard Easement Area"*.



All additions, modifications or other improvements must be approved by the Design Review Committee ("DRC") prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Architecture

9.32. Additions / Enclosures.

- a) Due to the unique nature of the Cottage neighborhoods, additions and/or expansion of a home are strongly discouraged and may be prohibited by the DRC in its sole discretion.
- b) Additions and/or expansion of a home are limited to additions that fit within the legally defined Condominium Unit as shown on the Condominium Plan.
- c) Buildings may not be located in the “Private Courtyard Portion” or the “Driveway Portion” of the Condominium Unit. Refer to the illustrations in Section 9.4 of these Design Guidelines.
- d) Any additions and/or expansions of a home must seamlessly match the architectural character, massing, forms, pattern, colors, materials, details and appearance of the existing home, as determined in the sole discretion of the DRC.
- e) Additions and/or expansions of a home that are deemed to have a negative impact on a neighboring property (as determined in the sole discretion of the DRC) will not likely be approved.
 - Refer to Section 4.3 for “Additions” for additional design criteria.
 - Refer to Section 4.36 for “Front Porches, Covered Front Entries, and Front Balconies” for additional design criteria.
 - Refer to Section 9.10 for “Building Setbacks / Separation”.

9.33. Garages. Garages shall comply with the design criteria in Section 4.38 of the Design Guidelines.

- Refer to Section 4.38 for “Garages” for additional design criteria.
- Refer to the “Delta Coves Vehicle Operation and Parking Policy” at www.deltacovesresidents.com.

9.34. Exterior Materials. All exterior materials shall match the Original Construction, unless specifically approved otherwise by the DRC, including, but not limited to: roofing, siding, stucco cladding, stone cladding, windows, window frames, exterior doors, garage doors, shutters, awnings, and other exterior architectural elements. The objective is that any modifications, changes or additions to a home are a seamless match with the existing home and the overall neighborhood context.

9.35. Exterior Colors.

- a) Because of the cohesive nature of the Cottage neighborhoods, the exterior color palette shall be limited to the color palette created by the Original Homebuilder. The Exterior Colors and Materials Palette for the Cottage neighborhoods is included at the end of this Appendix “J”.
- b) In the future, the DRC or DCMC have the right, without the obligation, to revise, expand or update the approved colors and materials palette for the overall Cottage neighborhoods as deemed appropriate in their discretion.
 - Refer to Section 4.54 for “Painting and Repainting” for additional design criteria..

9.36. Exterior Building Maintenance. All exterior building maintenance including, but not limited to: roofing, fascias, overhangs, paint, exterior cladding, windows, doors, garage doors, outdoor lights, front porches, covered front entries, balconies, railings, architectural details, etc is the responsibility of the Owner as outlined in the *Supplemental Master Declaration*.

- Refer to the *Supplemental Master Declaration*.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

REMINDER:

If the ***Supplemental Design Guidelines for the Cottages at Delta Coves*** do not cover a particular topic or details of a particular topic, then the standard requirements in the overall ***Residential Design Guidelines for Delta Coves*** will apply.

For example, exterior improvements such as solar energy device, window sunscreens, awnings, outdoor curtains, gutters, railings, security doors, etc. must comply with the standard requirements in the overall ***Residential Design Guidelines for Delta Coves***.

Landscape

9.37. Condominium Common Area Landscape / Special Benefit Area.

- a) The landscape, plants, trees, ground cover, and irrigation in the Condominium Common Areas are cared for and maintained by the Special Benefit Area; as outlined in the *Supplemental Master Declaration*.
- b) A Homeowner may not make any changes, modifications, additions or enhancements of any type to the landscape, trees, plants, ground cover and irrigation in the Condominium Common Areas, unless specifically approved otherwise by the DRC.
- c) If any landscape issues arise in the Condominium Common Areas (such as: irrigation leaks; the need for plant replacement; etc), the Homeowner should contact the DCMC since these issues are handled by the Special Benefit Area.
 - Refer to the *Supplemental Master Declaration*.

9.38. Private Courtyard.

- a) Homeowners are only allowed to modify, change, or enhance the landscape within the Private Courtyard associated with their home. All other landscape areas near and around the home are located within the Condominium Common Area and maintained by the Special Benefit Area.
- b) Due to the small size of the yards and the close proximity of the homes, trees and large palms are not allowed to be planted in the Private Courtyard.
- c) Due to the risk of damage from irrigation and overspray, natural grass is not allowed in the Private Courtyard.
- d) Artificial Turf is allowed in the Private Courtyard.
- e) Any plants that are taller or may potentially grow taller than the Yard Fence around the Private Courtyard must be approved by the DRC prior to installation.
- f) Any plants on the *Prohibited Plant List* in Appendix “E” of the Design Guidelines are not allowed in the Private Courtyard.
- g) All plants in the Private Courtyard must be located and maintained to be a minimum of twelve inches (12”) away from a neighboring home. Plants may not be located or maintained in such a manner that the plants will touch a neighboring home. Plants may not be located or arranged in such a manner as to impede the ability of an owner of a neighboring home to maintain the exterior surfaces of a neighboring home.
- h) Per Section 11(f) of the *Supplemental Master Declaration*: No Yard Easement Area shall be used in any manner which interferes with drainage designed by the Original Homebuilder.
- i) All plants in the Private Courtyard (if any) shall be connected to a separate irrigation controller and connected to the Homeowner’s water system. The irrigation for the Private Courtyard may not be connected to the irrigation of the Special Benefit Area.
- j) The initial landscape improvements in the Private Courtyard shall be installed and completed by the Homeowner within six (6) months of initial close of escrow of the purchase of the property from the Original Homebuilder. (For the purpose of these Design Guidelines, the term “initial landscape” means the first or initial landscape improvements in the Private Courtyard that transform the area from unfinished dirt and sand to improved landscape and hardscape surfaces that will deter dust, erosion and weeds.) At a minimum, landscape mulch and/or landscape gravel must be installed in the Private Courtyard within the first six (6) months for dust control, weed control, and erosion control.
 - Refer to Appendix “D” for the “*Approved Plant List*”.
 - Refer to Appendix “E” for the “*Prohibited Plant List*”.
 - Refer to Section 5.40 for “*Landscape Maintenance*” for additional design criteria.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

Outdoor Lighting

9.39. Outdoor Lighting. Unless specifically noted otherwise in this Appendix “J”, all outdoor lighting in the Cottage neighborhoods shall comply with the design criteria in Section 6 of the Design Guidelines.

- Refer to Section 6 for “*Outdoor Lighting Standards*” for additional criteria.

9.40. Landscape Lights. Landscape lights, pathway lights and driveway lights may be allowed if approved by the DRC and subject to the following criteria.

- a) Landscape Lights shall be located within the Private Courtyard. The installation of landscape lights in the Private Courtyard does not require the approval of the DRC, if such lights are fully screened from Public View.
 - b) In general, landscape lights (including path lights, walkway lights, and driveway lights) are discouraged and may be prohibited in the Condominium Common Areas because of risk of damage from routine landscape maintenance.
 - c) The DRC may, at its sole discretion, approve the installation of limited quantities of landscape lights, path lights and driveway lights by a Homeowner within the Condominium Common Areas, subject to compliance with the following criteria.
 - i) Any lighting in the Condominium Common Areas must be approved by the DRC prior to installation.
 - ii) Underground wiring for any landscape lights in the Condominium Common Areas must be buried a minimum of twelve inches (12”) below the finished grade. During installation, care must be given to avoid potential damage to the existing underground irrigation systems in the Condominium Common Areas when installing landscape and/or pathway lights.
 - iii) The landscape lights must be connected to the Homeowner’s electrical system; and may not be connected to any outdoor lighting systems of the Special Benefit Area.
 - iv) Quality and durable products and materials are required. Plastic landscape light fixtures will not be allowed. Landscape lights with individual mini-solar panels as part of the light fixture are not allowed.
 - v) Any damage to the light fixtures of any type that is caused by maintenance staff of the Special Benefit Area will be the responsibility and cost of the Homeowner to repair and/or replace. The DCMC and the Special Benefit Area accept no liability or responsibility for lights installed by the Homeowner in the Condominium Common Areas, including damage that may be caused during routine maintenance.
 - vi) The DRC reserves all right to limit the location, quantity, and type of landscape lighting and pathway lighting that is located within the Condominium Common Areas in its sole discretion.
- Refer to Section 6.10 for “*Driveway, Walkway and Path Lighting*” for additional design criteria.
 - Refer to Section 6.11 for “*Landscape Lights*” for additional design criteria.

All additions, modifications or other improvements must be approved by the Design Review Committee (“DRC”) prior to installation. Compliance with these Guidelines does not eliminate the need to submit to the DRC for approval prior to commencement of work.

- 9.41. String Lights.** String lights, strand lights, café lights, bistro lights and other similar types of lights supported by cables, wires or strands may be allowed if approved by the DRC and subject to compliance with the following criteria:
- a) String Lights are only allowed within the Private Courtyard.
 - b) String Lights may not be attached to a neighboring home.
 - c) Any support posts for the String Lights must be located a minimum of twelve inches (12”) away from the exterior face of a neighboring home.
 - d) String Lights are not allowed within any Condominium Common Areas.
 - e) The DRC reserves the right to not approve any String Lights that the DRC deems may have a negative impact on a neighboring home.
- Refer to Section 6.14 for “*String Lights*” for additional design criteria.

REMINDER:

If the ***Supplemental Design Guidelines for the Cottages at Delta Coves*** do not cover a particular topic or details of a particular topic, then the standard requirements in the overall ***Residential Design Guidelines for Delta Coves*** will apply.







For example, Outdoor Lighting such as wall-mounted lights, landscape lights, holiday lights, security lights, etc must comply with the standard requirements in the overall ***Residential Design Guidelines for Delta Coves***.

Exterior Colors and Materials Palette for the Cottages


9.42. Exterior Colors and Materials Palette for the Cottages.

- For consistency and continuity, all homes in the Cottage neighborhoods shall use the established Exterior Colors and Materials Palette created by the Original Homebuilder, as specified below.
- In limited cases and on a case-by-case basis, the DRC may consider alternate or additional colors and/or materials at the sole discretion of the DRC.

ELEVATION STYLE "A"

ROOF	STUCCO	FASCIA	STUCCO TRIM	GABLE SIDING	BODY SIDING	ENTRY DOOR	SHUTTERS	GARAGE DOOR	STONE
 CHARCOAL BLEND 1FBCF1430	SW 7005 PURE WHITE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7506 LOGGIA Interior / Exterior	SW 7665 WALL STREET Interior / Exterior	SW 7665 WALL STREET Interior / Exterior	SW 2823 ROCKWOOD CLAY Interior / Exterior	SW 6054 CANYON CLAY Interior / Exterior	SW 7655 STAMPED CONCRETE Interior / Exterior	
COLOR SCHEME -1									
 BROWN BLEND 1FBCF3233	SW 9173 SHITAKE Interior / Exterior	SW 7048 URBANE BRONZE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7625 MOUNT ETNA Interior / Exterior	SW 7625 MOUNT ETNA Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	
COLOR SCHEME -2									
 CHARCOAL BLEND 1FBCF1430	SW 7668 MARCH WIND Interior / Exterior	SW 7048 URBANE BRONZE Interior / Exterior	SW 7048 URBANE BRONZE Interior / Exterior	SW 7048 URBANE BRONZE Interior / Exterior	SW 7048 URBANE BRONZE Interior / Exterior	SW 7665 WALL STREET Interior / Exterior	SW 7665 WALL STREET Interior / Exterior	SW 9173 SHITAKE Interior / Exterior	
COLOR SCHEME -3									



BETHEL ISLAND



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ELEVATION STYLE "B"



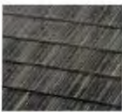



ROOF	STUCCO	FASCIA	STUCCO TRIM	GABLE SIDING	BODY SIDING	SHAKES	RAILING COLUMN	ENTRY DOOR	SHUTTERS	GARAGE DOOR	
 CHARCOAL BLEND 1FBCF1430	SW 7005 PURE WHITE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7655 STAMPED CONCRETE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 2823 ROOKWOOD CLAY Interior / Exterior	SW 2848 ROYCROFT PEWTER Interior / Exterior	SW 7655 STAMPED CONCRETE Interior / Exterior
COLOR SCHEME -1											
 BROWN BLEND 1FBCF3233	SW 7668 MARCH WIND Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7668 MARCH WIND Interior / Exterior	SW 9140 BLUSTERY SKY Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 2848 ROYCROFT PEWTER Interior / Exterior	SW 6054 CANYON CLAY Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	
COLOR SCHEME -2											
 CHARCOAL BLEND 1FBCF1430	SW 7008 ALABASTER Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7684 CONCORD BUFF Interior / Exterior	SW 7684 CONCORD BUFF Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7665 WALL STREET Interior / Exterior	SW 7665 WALL STREET Interior / Exterior	SW 7045 URBANE BRONZE Interior / Exterior	
COLOR SCHEME -3											



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ELEVATION STYLE "C"

ROOF	STUCCO	FASCIA	STUCCO ACCENT	SIDING ACCENT	RAILING	ENTRY DOOR	GARAGE DOOR	STONE
 CHARCOAL BLEND 1FBCF1430	SW 7632 MODERN GRAY Interior / Exterior	SW 7048 URBANE BRONZE Interior / Exterior	SW 75655 STAMPED CONCRETE Interior / Exterior	SW 9140 BLUSTERY SKY Interior / Exterior	SW 7048 URBANE BRONZE Interior / Exterior	SW 2823 ROOKWOOD CLAY Interior / Exterior	SW 2848 ROYCROFT PEWTER Interior / Exterior	
COLOR SCHEME -1								
 BROWN BLEND 1FBCF3233	SW 7005 PURE WHITE Interior / Exterior	SW 7048 URBANE BRONZE Interior / Exterior	SW 7506 LOGGIA Interior / Exterior	SW 7665 WALL STREET Interior / Exterior	SW 7045 URBANE BRONZE Interior / Exterior	SW 6054 CANYON CLAY Interior / Exterior	SW 7668 MARCH WIND Interior / Exterior	
COLOR SCHEME -2								
 CHARCOAL BLEND 1FBCF1430	SW 7506 LOGGIA Interior / Exterior	SW 7048 URBANE BRONZE Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	SW 7060 ATTITUDE GRAY Interior / Exterior	SW 7045 URBANE BRONZE Interior / Exterior	SW 7668 MARCH WIND Interior / Exterior	SW 7005 PURE WHITE Interior / Exterior	
COLOR SCHEME -3								



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Appendix K

Design review application fees (Adopted May 22, 2025)

Docks	\$1,600.00 per application	Dock Extensions. Fee is per dock/per day. Fee covers Declarant insurance review, coordination of developer observation and biologist schedule, developer observation, biologist observation.
	\$50.00 per application	Dock Shade Structure / Boat Cover.
	\$25.00 per application	Small Dock Projects such as: boat lift, jet ski port, kayak port, dock storage, dock slide, dock ladder, dock cleats, water and power pedestal, dock utilities. <i>Multiple small projects may be grouped together in one Design Review Application.</i>
Decks	\$800.00 per application	Extended Deck in Lagoon Zone, including railings and deck-mounted gangways. Fee covers developer review of insurance, post construction review with BIMID inspector.
	\$25.00 per application	Small Deck Projects such as: gate, fire pit, or lighting. <i>Multiple small projects may be grouped together in one Design Review Application.</i>
Rear Yard	\$0.00 Complimentary	For large scale Initial Rear Yard Packages including: patios, veranda decks, and landscaping; including any other rear yard amenities that are included as part of the Initial Rear Yard Package". The "Initial Rear Yard Package" is considered the first Design Review Application for a Rear Yard that includes significant improvements that take up a majority of the Rear Yard Zone.
	\$100.00	For large scale Initial Rear Yard Packages including: patios, veranda decks, and landscaping; including any other rear yard amenities that are submitted after the "Initial Rear Yard package."
	\$100.00 per application	In-Ground Swimming Pool or In-Ground Spa.
	\$25.00 per application	Small Rear Yard Projects (see small projects below)
Front Yard	\$100.00 per application	For full Front Yard renovation projects that substantially change the overall character and appearance of the original front yard landscape.
	\$25.00 per application	Small Front Yard Projects (see small projects below)
Architectural Improvements	\$100.00 per application	Additions, Screened-In Covered Patio or Balcony.
	\$25.00 per application	Small Architectural Projects (see small projects below)
Small Projects	<i>Multiple small projects may be grouped together in one Design Review Application</i>	Driveway Expansion, Front Yard Walkway, Side Yard Walkway, Porch Pavers.
		Security Door, Front Door, Garage Door, Window Modifications, Window Sunscreens, Roll Down Sunscreens, Outdoor Curtains.
		Minor Landscape Modifications, Landscape Lighting.
		Barbeque, Outdoor Cooking Equipment, Fire Feature, Fire Pit, Outdoor Fireplace.
		Shade Structure, Awnings, Storage Shed, Play Equipment.
		Fence and Gate Modifications.
		Above-Ground Spa, Water Feature.
		Outdoor Lights, String Lights, Security Cameras, Security Lights, Flag.
		Exterior Painting.
Other Minor Exterior Improvements.		

Notes:

- The Design Review Fee shall be paid at the time of submittal.
- The Design Review Application will not be reviewed until the Design Review Fee has been paid.



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